

ALBION ST BARN

DRAWING LIST

G000 COVER SHEET & SCHEDULES
G001 SITE PLANS & ZONING ANALYSIS
G002 ZONING DIAGRAMS & GROUND LEVEL CALCS
G003 TYPICAL ASSEMBLIES & DETAILS

A101 PROPOSED FLOOR PLANS

A201 PROPOSED ELEVATIONS & SECTIONS

A301 [RESERVED]

A401 [RESERVED]

A501 EXTERIOR DETAILS

A502 EXTERIOR DETAILS

GENERAL DESCRIPTION

59 ALBION STREET BARN IS A NEW BACKYARD COTTAGE FOR PRIVATE HOMEOWNER USE. THE NEW, CONFORMING COTTAGE REPLACES A NON-CONFORMING BARN, WHICH WAS DEMOLISHED IN FEBRUARY 2020.

VICINITY MAP



CODE ANALYSIS

780 CMR 51.00:MASSACHUSETTS RESIDENTIAL CODE, NINTH EDITION

USE AND CONSTRUCTION TYPE
USE: ACCESSORY STRUCTURE
CONSTRUCTION: WOOD FRAME

GENERAL EXISTING BUILDING & STRUCTURES

AJ101.1 UPGRADE OR REPLACEMENT OF EXIST.FEATURES IS NOT REQ'D (UNLESS OTHERWISE STATED IN THE CODE OR DEEMED UNSAFE BY BLDNG. OFFICIAL)

FIRE RESISTIVE CONSTRUCTION

R302.1 EXTERIOR WALLS W/ FIRE SEPARATION DISTANCE <5': 1 HOUR (BOTH SIDES)
EXTERIOR WALLS W/ FIRE SEPARATION DISTANCE ≥5': 0 HOURS

FIRE PROTECTION

R313.2 SPRINKLERS NOT REQUIRED IN ONE AND TWO FAMILY DWELLINGS WITH AN AGGREGATE AREA OF LESS THAN 14,400 SF.

SMOKE & CARBON MONOXIDE ALARMS

AJ102.3 SMOKE & CARBON MONOXIDE ALARMS REQUIRED & INSTALLED IN ACCORDANCE WITH R314 & SHALL BE R315

EGRESS

R311.1 A PRIMARY AND SECONDARY MEANS OF EGRESS REQUIRED
CLEAR OPENING DIMENSIONS:

	REQUIRED	PROVIDED
PRIMARY DR.	32"(W)X78"(H)	>32"(W)X78"(H)
SECONDARY DR.	28"(W)X78"(H)	>28"(W)X78"(H)

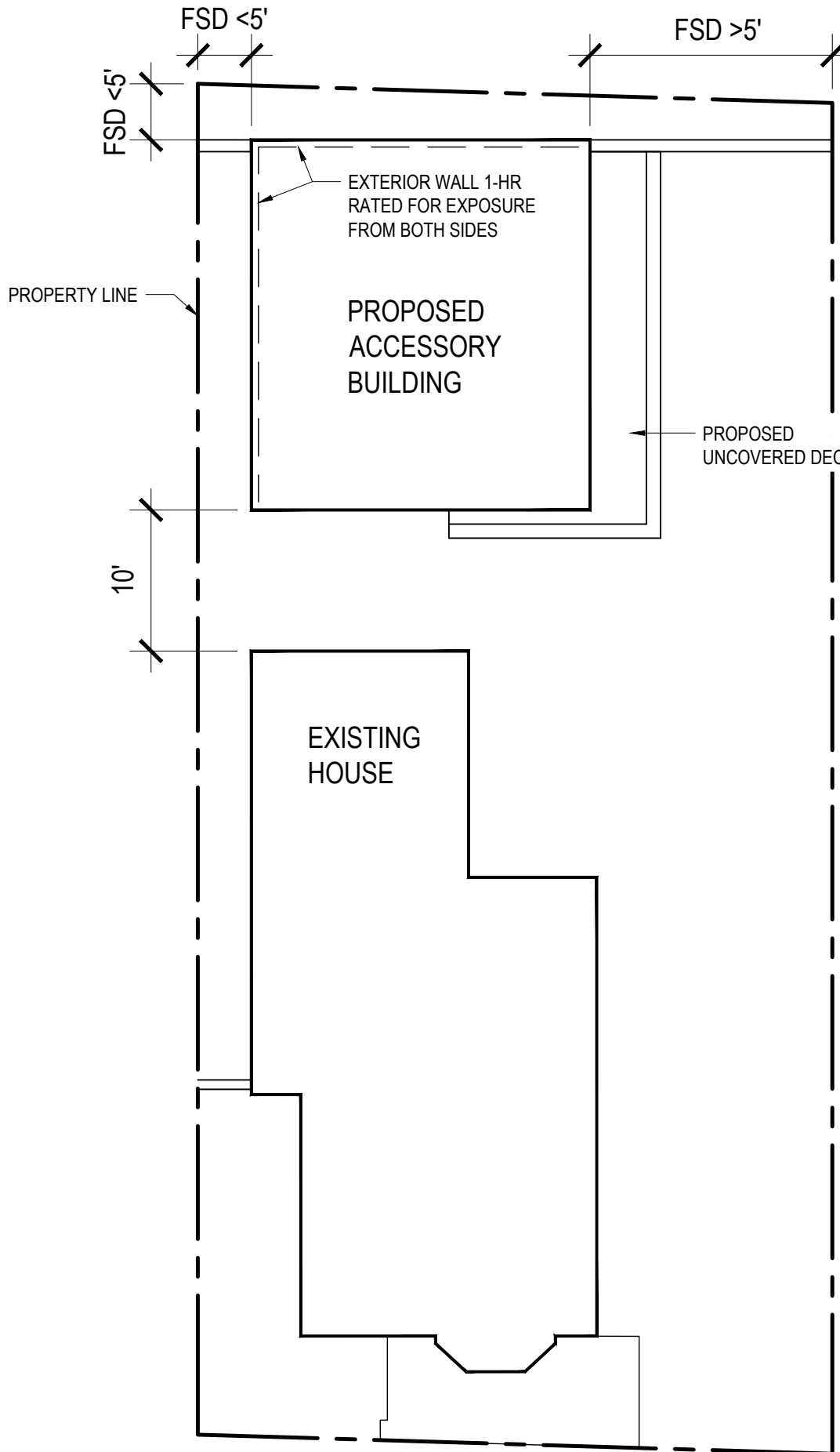
R311.7 STAIRWAYS

	REQUIRED	PROVIDED
WIDTH	36" CLEAR	≥36"
HEADROOM	6'-8" MIN.	>6'-8"
RISER HEIGHT	8 1/4" MAX.	≤8 1/4"
TREAD DEPTH	9" MIN.	≥9"

ENERGY EFFICIENCY

AA104 FOR EXISTING BUILDINGS ENERGY REQ'S OF CHAP. 11 OF 780 CMR 51.00 SHALL BE USED AS APPLICABLE

FIRE SEPARATION DIAGRAM



GENERAL NOTES

- ANY REFERENCE TO "CODE" SHALL REFER TO MASSACHUSETTS STATE BUILDING CODE, 780 CMR, 9TH EDITION, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY ON NEW WALLS AND TO CENTERLINE OF OPENING, UNLESS OTHERWISE NOTED. DIMENSIONS ON EXISTING WALLS ARE TO FACE OF WALL.
- DRAWINGS SHALL NOT BE SCALED; USE WRITTEN DIMENSIONS ONLY.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- ALL UNDERGROUND UTILITIES SHALL BE CONFIRMED WITH DIG SAFE AND/OR LOCAL JURISDICTION.
- BLOCKING SHALL BE PROVIDED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
- FIRE RESISTIVE WALLS ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS, RECESSED EQUIPMENT, OR CASEWORK. RECESSES AND VOIDS SHALL BE BUILT IN SUCH A MANNER AS TO ASSURE CONTINUITY OF RATED CONSTRUCTION.
- ANY VISIBLE ITEM, OF ANY TRADE, WHICH IS NOT SPECIFICALLY LOCATED THE DRAWINGS, SHALL BE INSTALLED AS LOCATED AND DIRECTED BY THE ARCHITECT IN THE FIELD.
- GENERAL CONTRACTOR SHALL SECURE ALL PERMITS, APPROVALS, VARIANCES [IF NECESSARY], AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN T THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- THESE DRAWINGS REQUIRE THE SELECTIVE REMOVAL AND SUBSEQUENT DISPOSAL OF VARIOUS BUILDING ELEMENTS AND MATERIALS. PROTECTIVE MEASURES MUST BE PROVIDED AS REQUIRED BY OSHA AND OTHER LOCAL CODES, AS WELL AS TO PROTECT EXISTING FINISHED TENANT AREAS BEYOND THE SCOPE OF THIS FIT-OUT.
- ELECTRICAL, MECHANICAL, & HVAC TO BE DESIGN-BUILD TO CODE. ALL LOCATIONS AND RUNS TO BE VERIFIED IN FIELD WITH ARCHITECT BEFORE INSTALLATION.

SCHEDULES

PLUMBING & APPLIANCE SCHEDULE

FLOOR	ROOM	DESCRIPTION	MANUFACTURER	MODEL	MODEL NUMBER	FINISH
1	Kitchenette	Sink	Elkay	Crosstown	ECTRU12179TC	stainless
1	Kitchenette	Faucet	Moen	Align	7565BL	black
1	Kitchenette	Mini Fridge	Summit	n/a	AL54	stainless

FINISH SCHEDULE

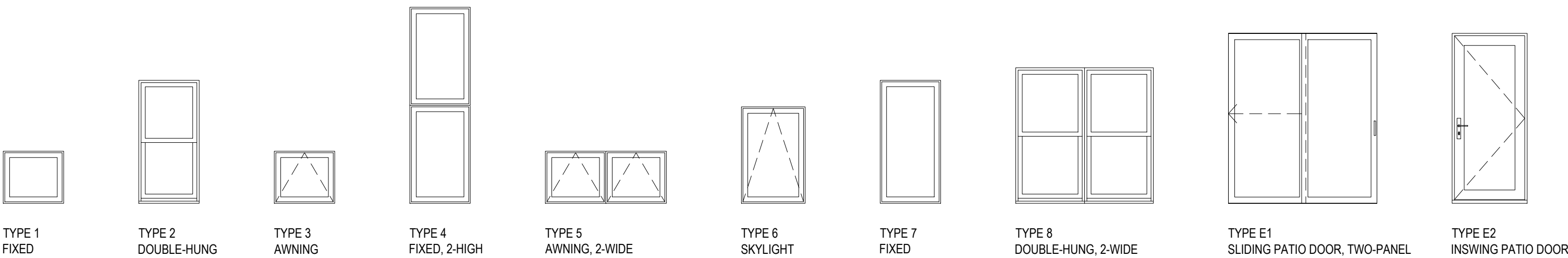
ROOM NAME	LEVEL	WALLS	FLOOR	CEILING
Entry/Kitchenette	1	PTD GWB	reclaimed wood flooring	PTD GWB
Loft	Loft	PTD GWB	reclaimed wood flooring	PTD GWB
Hobby Space	Ground	PTD GWB	concrete slab	PTD GWB
Future bathroom	Ground	PTD GWB	concrete slab	exposed framing
Storage	Ground	exposed framing	concrete slab	exposed framing

FINISHES	LOCATION	MATERIAL	COLOR
Kitchenette	countertops	Caesarstone	TBD
Kitchenette	backsplash	Caesarstone	TBD
Kitchenette	floating shelf	reclaimed wood	clear finish
Kitchenette	millwork	TBD	TBD

ELECTRICAL FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	SERIES	MODEL #	TRIM KIT/FINISH
RC-1	Recessed, Gimbal	Lotus	4"	LRG4	white
SC-1	Exterior Sconce	Tech Lighting	Root 15	700-OWROT-93015-CHUNVS	charcoal
SC-2	Loft Sconce	TBD			
SM-1	Kitchenette Surface Mount	Barn Light Electric Company	Original Warehouse Pendant	BLE-C-WHS18-355-CSR-355-NA-NA-NA-E26	Jadite, confirm rest of specs
SM-2	Hobby Space Surface Mount	Barn Light Electric Company	Original Warehouse Pendant	BLE-C-WHS18-355-CSR-355-NA-NA-NA-E26	Jadite, confirm rest of specs
SM-3	Surface Mount at exposed ceilings	TBD			
F-1	Ceiling Fan	Modern Forms	TBD		
UC	Under shelf light	TBD			

WINDOW & DOOR TYPE DIAGRAMS



WINDOW SCHEDULE

WINDOW TYPE	MANUFACTURER	SERIES	TYPE	EXT MAT'L/FINISH	INT MAT'L/FINISH	FRAME SIZE		LITES	HARDWARE	SCREENS	GLAZING	NOTES
						WIDTH	HEIGHT					
1	Pella	Architect Series Contemporary	Fixed	Black Clad	Wood, Primed	2'-9"	2'-1"	n/a	n/a	n/a	Advanced Low-E, Argon Fill	
2	Pella	Architect Series Traditional LX	Double-Hung	Black Clad	Wood, Primed	2'-9"	4'-11"	1/1	Essential, White	InView, Black	Advanced Low-E, Argon Fill	Upper jamb track to match interior finish; lower to match exterior finish
3	Pella	Architect Series Contemporary	Awning	Black Clad	Wood, Primed	2'-9"	2'-1"	n/a	Salto, White	InView, Black	Advanced Low-E, Argon Fill	
4	Pella	Architect Series Contemporary	Fixed, 2-High	Black Clad	Wood, Primed	2'-9" (each)	3'-11" (each)	n/a	n/a	n/a	Advanced Low-E, Argon Fill	
5	Pella	Architect Series Contemporary	Awning, 2-Wide	Black Clad	Wood, Primed	2'-9" (each)	2'-1" (each)	n/a	Salto, White	InView, Black	Advanced Low-E, Argon Fill	
6	Velux	VSE - M08	Skylight, Venting	Clad	Wood, Prefinished	2'-6 9/16"	3'-10 1/4"	n/a	Remote Control	Fiberglass Mesh	Standard	FSOC Integrated Blinds
7	Pella	Architect Series Contemporary	Fixed	Black Clad	Wood, Primed	2'-9"	4'-11"	n/a	n/a	n/a	Advanced Low-E, Argon Fill	
8	Pella	Architect Series Traditional LX	Double-Hung, 2-Wide	Black Clad	Wood, Primed	2'-9" (each)	5'-9" (each)	1/1	Essential, White	InView, Black	Advanced Low-E, Argon Fill	Upper jamb track to match interior finish; lower to match exterior finish

DOOR SCHEDULE

DOOR ID	MANUFACTURER	SERIES	TYPE	EXT MAT'L/FINISH	INT MAT'L/FINISH	FRAME SIZE		LITES	HANDLES/ET	HINGE/SILL	SCREEN DOOR	GLAZING	NOTES
						WIDTH	HEIGHT						
E1	Pella	Architect Series Contemporary	2-Panel Sliding Patio	Black Clad	Wood, Primed	9'-11 1/4"	6'-9 1/2"	1 lite, No grilles	Modern Collection, Plazo, Matte Black	Black	InView, Black	Dual Pane IG, Advanced Low-E, Tempered, Argon Fill	
E2	Pella	Architect Series Contemporary	Single Inswing Patio	Black Clad	Wood, Primed	3'-0"	6'-9 1/2"	1 lite, No grilles	Modern Collection, Spiere, Matte Black	Black	InView, Black	Dual Pane IG, Advanced Low-E, Tempered, Argon Fill	

Verify all door sizes and specs with architect prior to ordering.

ALBION ST. BARN

59 ALBION ST.
SOMERVILLE, MA 02143

PROJECT

KATE + DARYL ST.
LAURENT

59 ALBION ST.
SOMERVILLE, MA 02143

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ARCHITECT



19 JUN 2020 DRAFT SET
17 JUL 2020 PRICING SET
17 NOV 2020 PERMIT SET
22 SEP 2021 REV. PERMIT SET

SCALE

AS NOTED

COVER SHEET & SCHEDULES

G000

GREENSCORE TABLES, PAVING/DEPAVING DIAGRAMS AND SOIL BORINGS

Somerville Green Score - EXISTING

DIRECTIONS:

1. Enter the Lot Area in square feet to the right >>>

2. Enter the area in square feet or the number of landscape elements

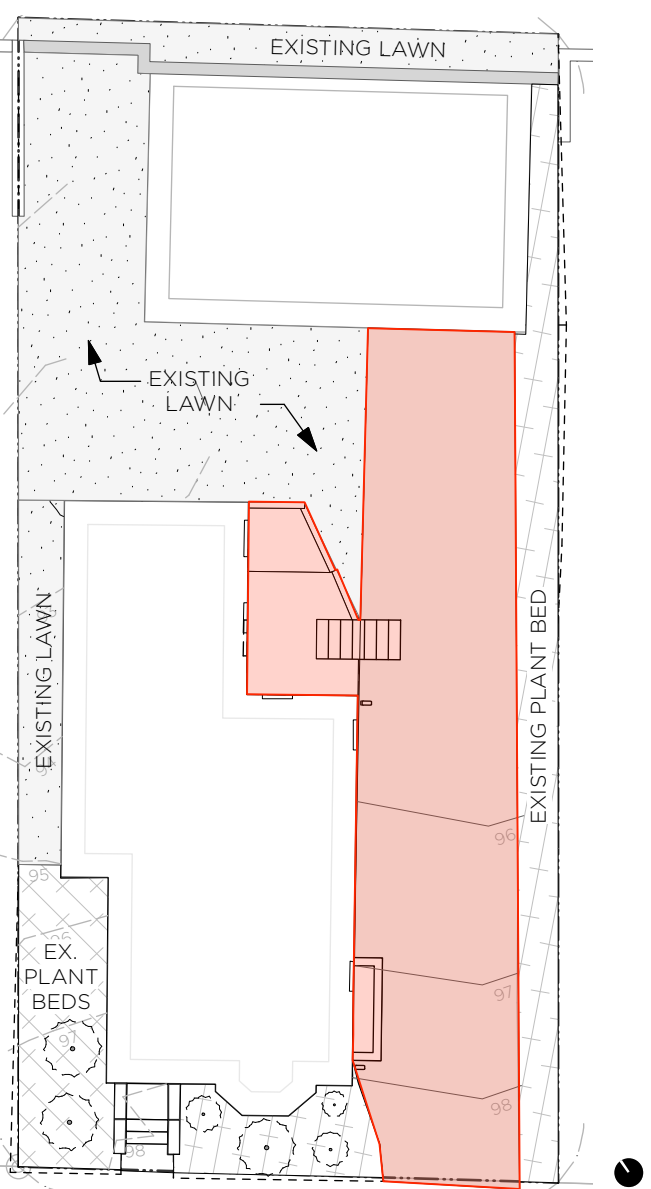
Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	
4,420					
Soils					
Landscaped area with a soil depth less than 24 inches <i>(enter square feet)</i>	0	actual sq ft	0.3	0	0.000
Landscaped area with a soil depth equal to or greater than 24 inches <i>(enter square feet)</i>	1,507	actual sq ft	0.6	904.2	0.205
Previous Paving with 6 to 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	0	actual sq ft	0.2	0	0.000
Previous Paving with more than 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	0	actual sq ft	0.5	0	0.000
Groundcovers					
Turf grass, mulch, and inorganic surfacing materials <i>(enter square feet)</i>	1,507	actual sq ft	0.1	150.7	0.034
Plants					
Vegetation less than two (2) feet tall at maturity <i>(enter square feet)</i>	105	actual sq ft	0.2	21	0.005
Vegetation at least two (2) feet tall at maturity <i>(enter number of individual plants)</i>	5	12	0.3	18	0.004
Trees					
Small Tree <i>(enter number of trees)</i>	0	50	0.6	0	0.000
Large Tree <i>(enter number of trees)</i>	0	450	0.6	0	0.000
Preserved Tree <i>(enter DBH)</i>	0	65	0.8	0	0.000
Engineered Landscape					
Vegetated Wall <i>(enter square feet)</i>	0	actual sq ft	0.1	0	0.000
Rain gardens, bioswales, and stormwater planters <i>(enter square feet)</i>	0	actual sq ft	1.0	0	0.000
Green Roof with up to 6" of growth medium <i>(enter square feet)</i>	0	actual sq ft	0.1	0	0.000
Green Roof with 6"-10" of growth medium <i>(enter square feet)</i>	0	actual sq ft	0.4	0	0.000
Green Roof of 10"-24" growth medium <i>(enter square feet)</i>	0	actual sq ft	0.6	0	0.000
Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees			

Green Score = 0.247

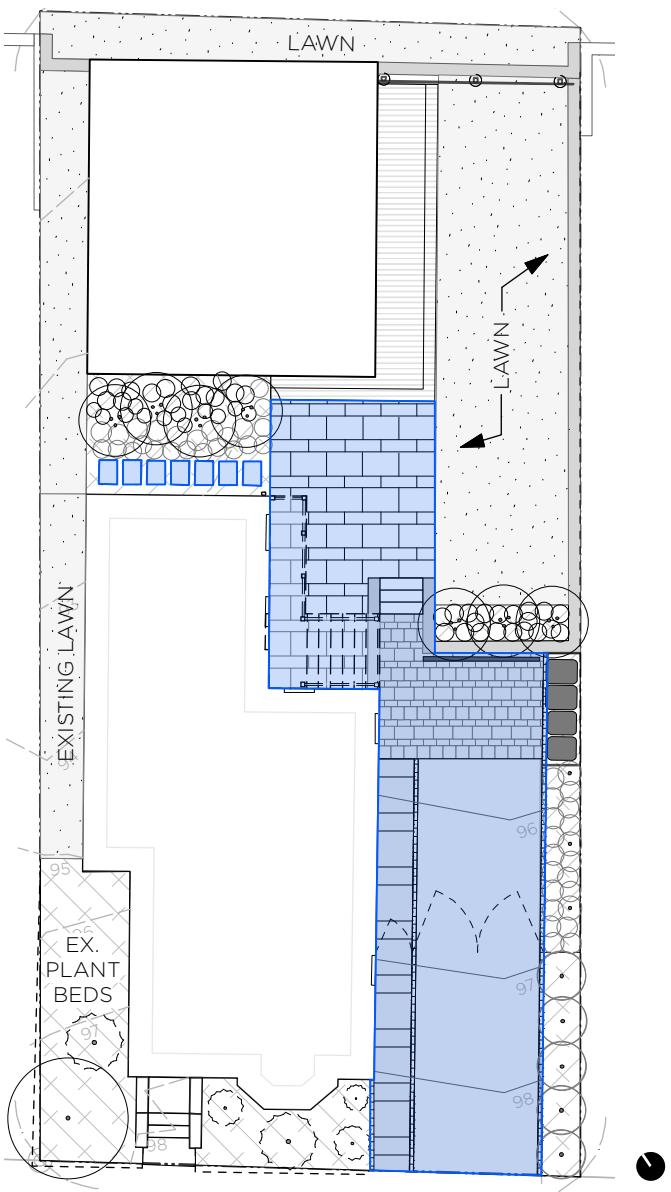
Green Score District Requirements

NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
0.247	0.247	0.247	0.247

Required Score:
Target Score:
Actual Green Score:



DEPAVING DIAGRAM:
AREA OF EX. PAVING TO BE REMOVED = 1054 SF



PAVING DIAGRAM:
PROPOSED AREA OF PAVING = 947 SF
(132 SF = PERMEABLE)

Somerville Green Score - PROPOSED

DIRECTIONS:

1. Enter the Lot Area in square feet to the right >>>

2. Enter the area in square feet or the number of landscape elements

Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score	
4,420						
Soils						
Landscaped area with a soil depth less than 24 inches <i>(enter square feet)</i>	0	actual sq ft	0.3	0	0.000	
Landscaped area with a soil depth equal to or greater than 24 inches <i>(enter square feet)</i>	1,482	actual sq ft	0.6	889.2	0.201	
Previous Paving with 6 to 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	132	actual sq ft	0.2	26.4	0.006	
Previous Paving with more than 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	0	actual sq ft	0.5	0	0.000	
Groundcovers						
Turf grass, mulch, and inorganic surfacing materials <i>(enter square feet)</i>	1,078	actual sq ft	0.1	107.8	0.024	
Plants						
Vegetation less than two (2) feet tall at maturity <i>(enter square feet)</i>	320	actual sq ft	0.2	64	0.014	
Vegetation at least two (2) feet tall at maturity <i>(enter number of individual plants)</i>	12	12	0.3	43.2	0.010	
Trees						
Small Tree <i>(enter number of trees)</i>	7	50	0.6	210	0.048	
Large Tree <i>(enter number of trees)</i>	1	450	0.6	270	0.061	
Preserved Tree <i>(enter DBH)</i>	0	65	0.8	0	0.000	
Engineered Landscape						
Vegetated Wall <i>(enter square feet)</i>	0	actual sq ft	0.1	0	0.000	
Rain gardens, bioswales, and stormwater planters <i>(enter square feet)</i>	0	actual sq ft	1.0	0	0.000	
Green Roof with up to 6" of growth medium <i>(enter square feet)</i>	0	actual sq ft	0.1	0	0.000	
Green Roof with 6"-10" of growth medium <i>(enter square feet)</i>	0	actual sq ft	0.4	0	0.000	
Green Roof of 10"-24" growth medium <i>(enter square feet)</i>	0	actual sq ft	0.6	0	0.000	
Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees				N/A

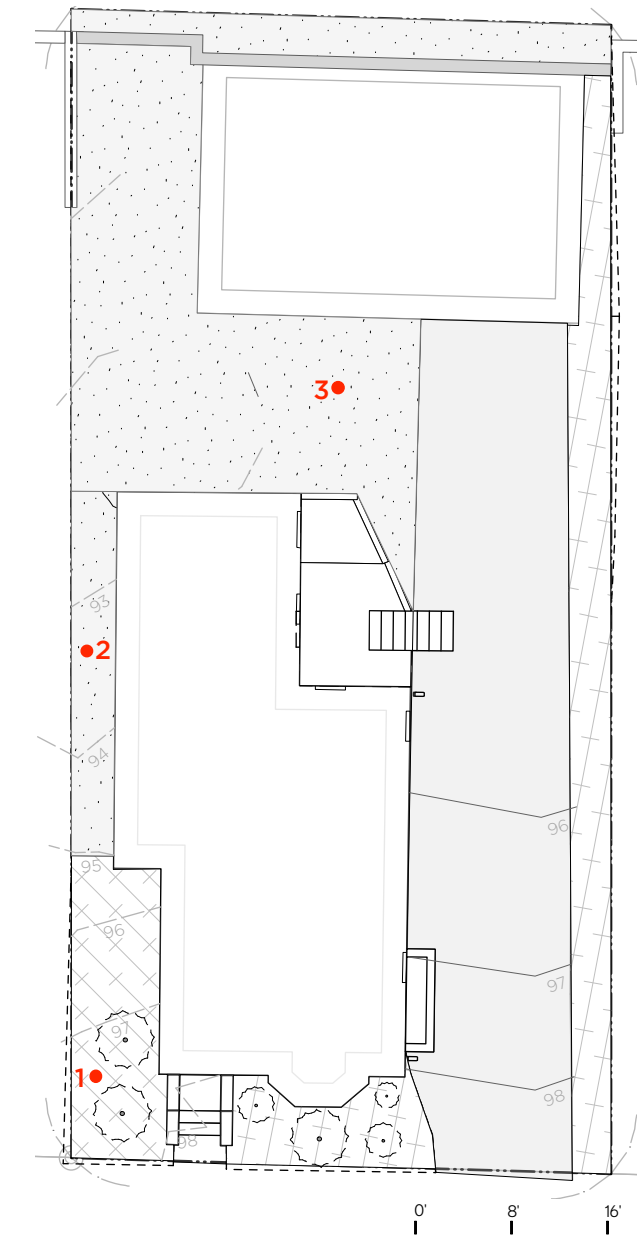
Green Score = 0.364

Green Score District Requirements

NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
0.364	0.364	0.364	0.364

Required Score: 0.35
Target Score: 0.40
Actual Green Score: 0.364

1 GREENSCORE TABLES: EXISTING AND PROPOSED



3 SOIL BORING LOCATIONS AND IMAGES



IMAGE OF SOIL BORING 1



SOIL BORING 1 ZOOMED IN



IMAGE OF SOIL BORING 2



SOIL BORING 2 ZOOMED IN



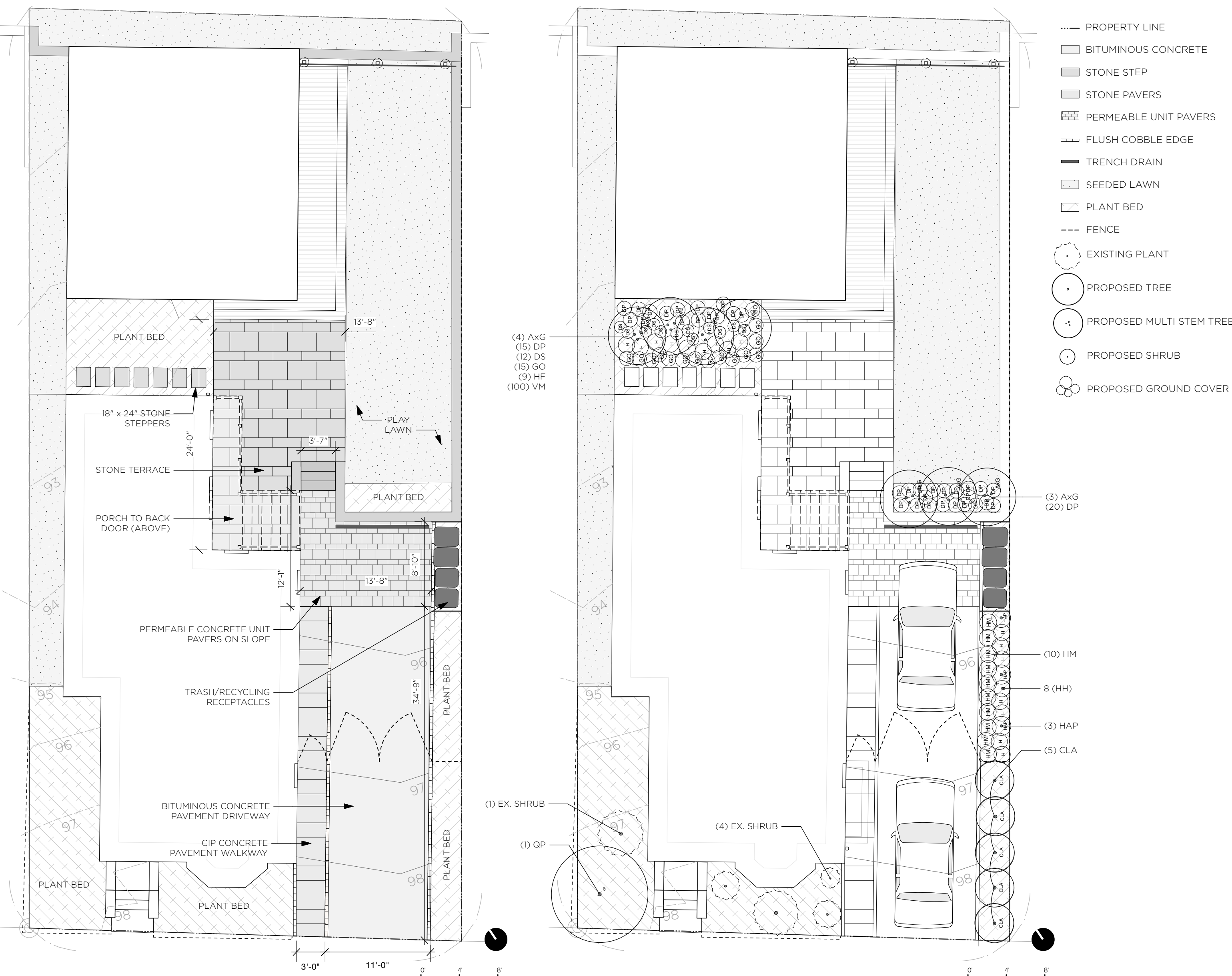
IMAGE OF SOIL BORING 3



SOIL BORING 3 ZOOMED IN

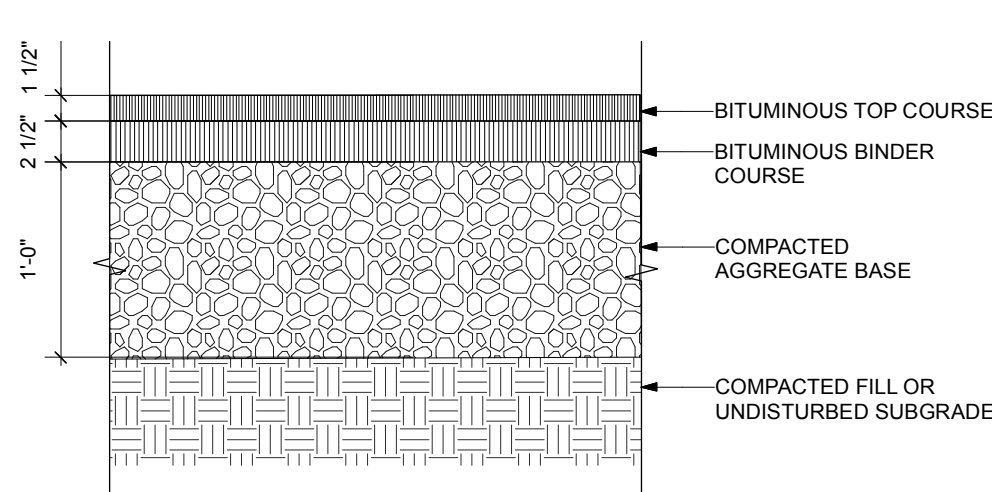
**NOTE: CHAIN LINK FENCE IN THIS IMAGE IS TEMPORARY CONSTRUCTION FENCING LOCATED IN THE BACKYARD FOLLOWING THE BARN DEMOLITION.

SITE PLAN, PLANTING PLAN AND PAVING DETAILS

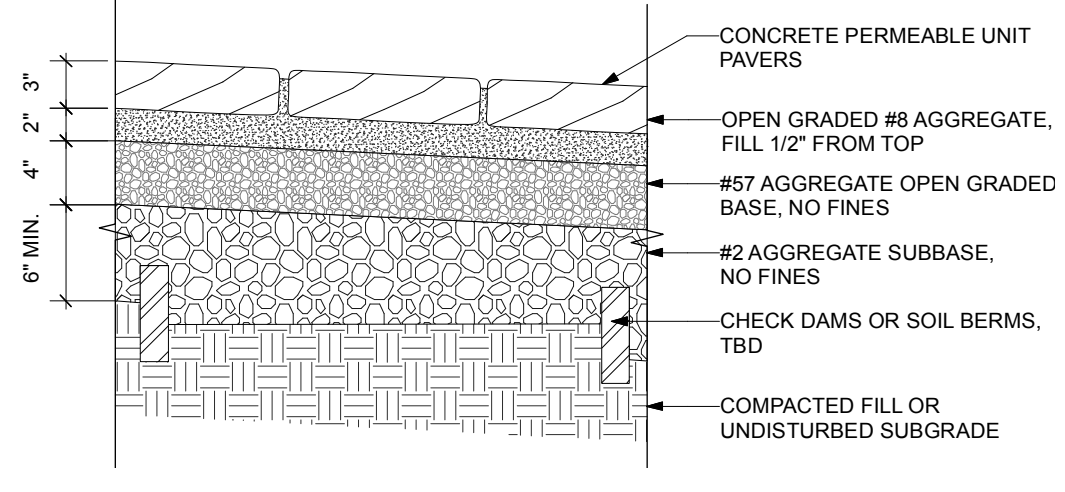


4 PROPOSED SITE PLAN
SCALE: 1/8" = 1'0"

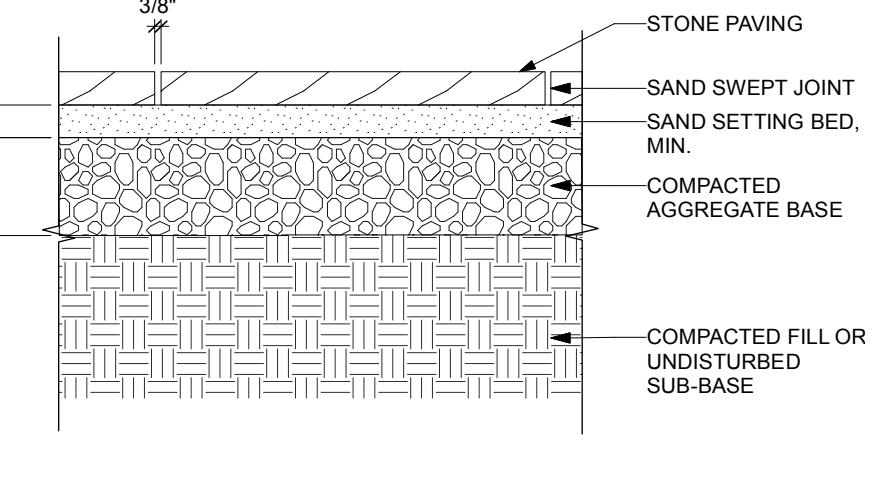
5 PROPOSED SITE PLAN
SCALE: 1/8" = 1'0"



6 BITUMINOUS CONCRETE PAVEMENT
SCALE: 1" = 1'0"



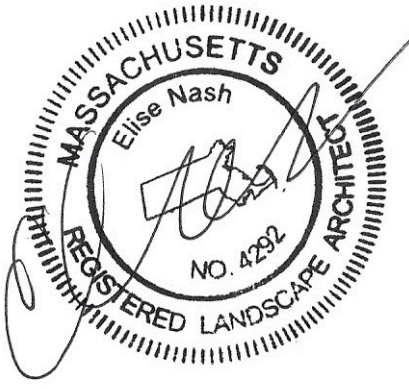
7 PERMEABLE CONCRETE UNIT PAVERS ON SLOPE
SCALE: 1" = 1'0"



8 STONE TERRACE PAVING
SCALE: 1" = 1'0"

PLANT SCHEDULE

QTY.	UNIT	SYM.	BOTANICAL NAME	COMMON NAME	SIZE / CALIPER	ROOT	SPACING O.C.	NOTES
TREES								
7	ea	AxG	Amerlanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	7-8' ht.	B&B	as shown	multi-stem
1	ea	QP	Quercus phellos	Willow Oak	2-2.5" cal	B&B	as shown	
SHRUBS								
3	ea	HAP	Hydrangea anomala petiolaris	Climbing Hydrangea	5 gal staked	cont.	as shown	
5	ea	CLA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	7 gal	cont.	as shown	
PERENNIALS & GRASSES								
35	ea	DP	Dennstaedtia punctilobula	Hayscented Fern	2 gal.	cont.	as shown, +/- 18" O.C.	
12	ea	DS	Dicentra spectabilis 'Alba'	White Bleeding Heart	2 gal.	cont.	as shown, +/- 24" O.C.	
15	ea	GO	Gallium odoratum	Sweet Woodruff	2 gal.	cont.	as shown, +/- 12" O.C.	
10	ea	HM	Hakonachloa macra	Japanese Forest Grass	2 gal.	cont.	as shown, +/- 18" O.C.	
9	ea	HF	Hosta Francee	Francee Plantain Lily	2 gal.	cont.	as shown, +/- 24" O.C.	
8	ea	HH	Hosta Halcyon	Halcyon Hosta	2 gal.	cont.	as shown, +/- 24" O.C.	
2	ea	VM	Vinca minor 'Bowles'	Bowles Myrtle	Flat of 50		+/- 8" O.C.	100 plants total



REVISIONS
NO. DATE ISSUE

ISSUE

ZONING
SUBMISSION

PROJECT ID/NUMBER
59 ALBION STREET/ 19008

SCALE
AS NOTED

DRAWN BY
EMN

REVIEWED BY

DATE
20 OCTOBER 2021

SHEET TITLE

LANDSCAPE
PLANS, DETAILS
AND DATA

SHEET NUMBER

L0.2



FOR SITE PLANTINGS, MATERIALS, & GREENSCORE
INFORMATION SEE THE LANDSCAPE DRAWINGS

GENERAL ZONING INFORMATION

DIMENSIONAL REQUIREMENTS FOR PRINCIPAL BUILDING

PER 3.1.8 [WITH DEFINITIONS ON PG 24]

DIMENSIONAL REQUIREMENTS FOR BACKYARD COTTAGE

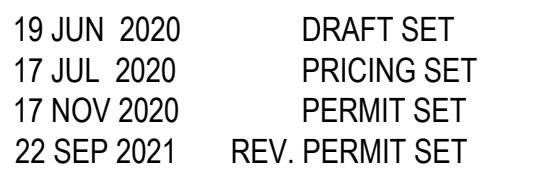
PER 3.1.2 [WITH DEFINITIONS ON PG 24]

ACCESSORY BUILDING COMPONENTS

PARKING CALCULATION

PER TABLE 3.1.18

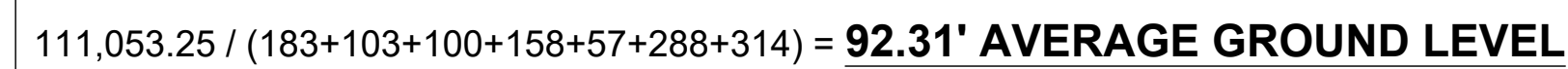
ARCHITECT



G001

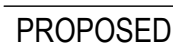
OWNER

ARCHITECT



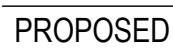
PROPOSED

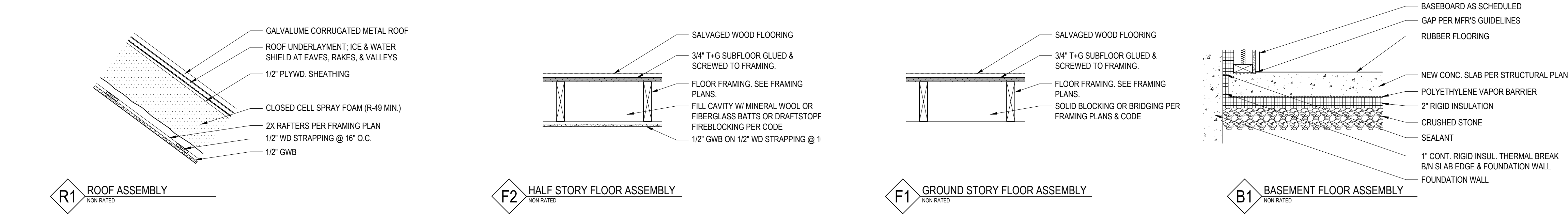
1/8" = 1'-0"



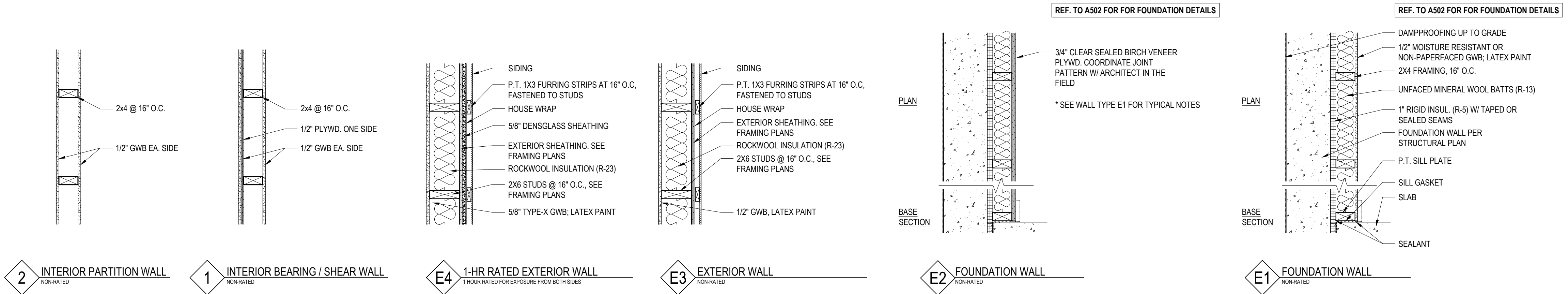
3/16" = 1'-0"

PROPOSED

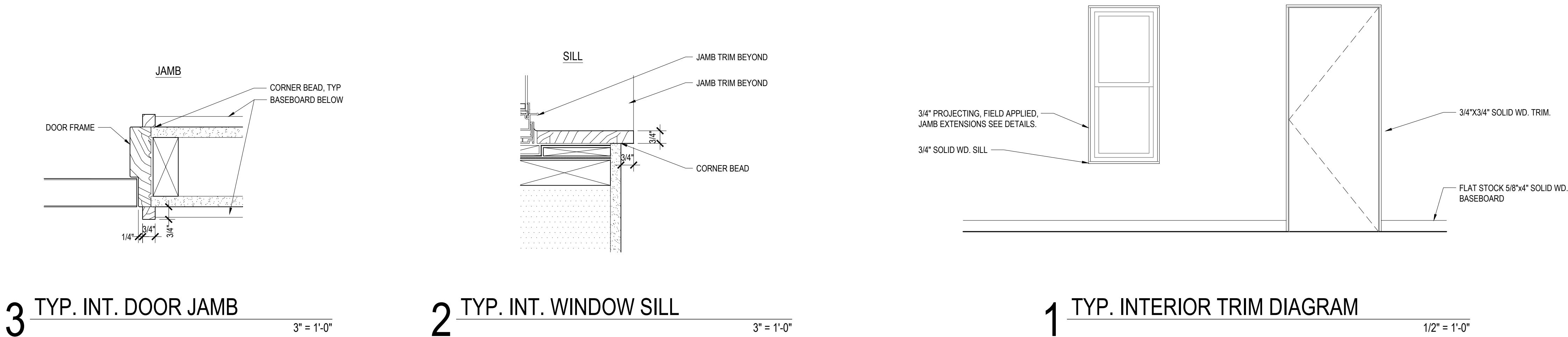
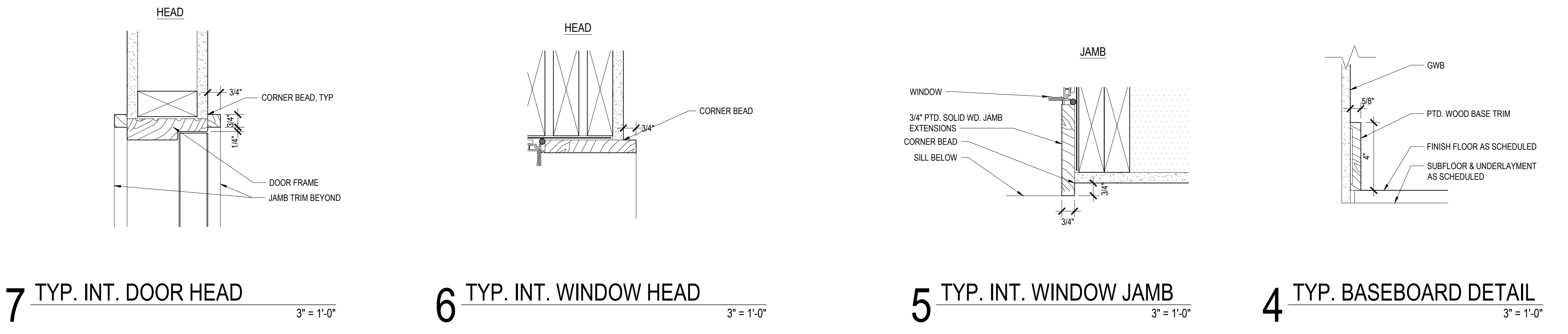
$$\frac{3}{16}'' = 1'-0''$$

$$\overline{3/16'' = 1'-0''}$$

9 FLOOR & ROOF ASSEMBLIES



8 WALL ASSEMBLIES



ALBION ST. BARN

59 ALBION ST.
SOMERVILLE, MA 02143

PROJECT

KATE + DARYL ST.
LAURENT

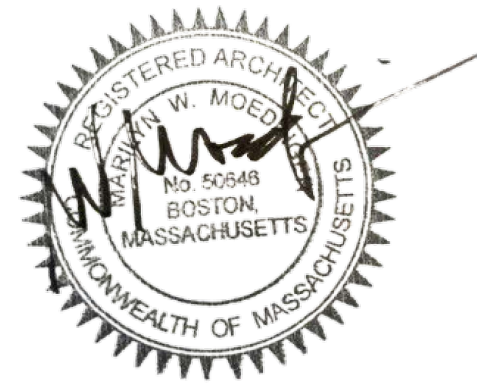
59 ALBION ST.
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ARCHITECT



19 JUN 2020
17 JUL 2020
17 NOV 2020
22 SEP 2021

DRAFT SET
PRICING SET
PERMIT SET
REV. PERMIT SET

SCALE
AS NOTED

TYPICAL
ASSEMBLIES &
DETAILS

G003

FRAMING & FOUNDATION PLAN NOTES

SHOWN: POSTS UP/DN & HEADERS ABOVE
GENERAL: SEE STRUCTURAL NOTES ON G000
LOAD BEARING WALLS: 2X6 @ 24" O.C. U.N.O.
WALL SHEATHING: PER STRUCTURAL NOTES.
FLOOR SHEATHING: NEW 3/4" T&G PLYWD. OR
ADVANTECH, GLUED & SCREWED
EXTERIOR DECK FRAMING: ALL P.T. LUMBER.
HEADER JAMBS (2) 2X6 - 1 JACK - 1 KING -
UNLESS NOTED OTHERWISE.

1B1 - (2) 2X10
1B2 - (2) 1 3/4" X 9 1/4" LVL
1B3 - (2) 1 3/4" X 9 1/4" LVL, MATCH 1B2 DEPTH
1B4 - (2) 2X8 PT SYP NO. 2
1B5 - (2) 2X8 PT SYP NO. 2

C1 - (3) 2X6 POST
C2 - 6X8 DF NO. 1
C3 - (2) 2X4 STUDS @ END OF 1B2
C4 - (2) 2X4 STUDS BELOW END OF 1B1

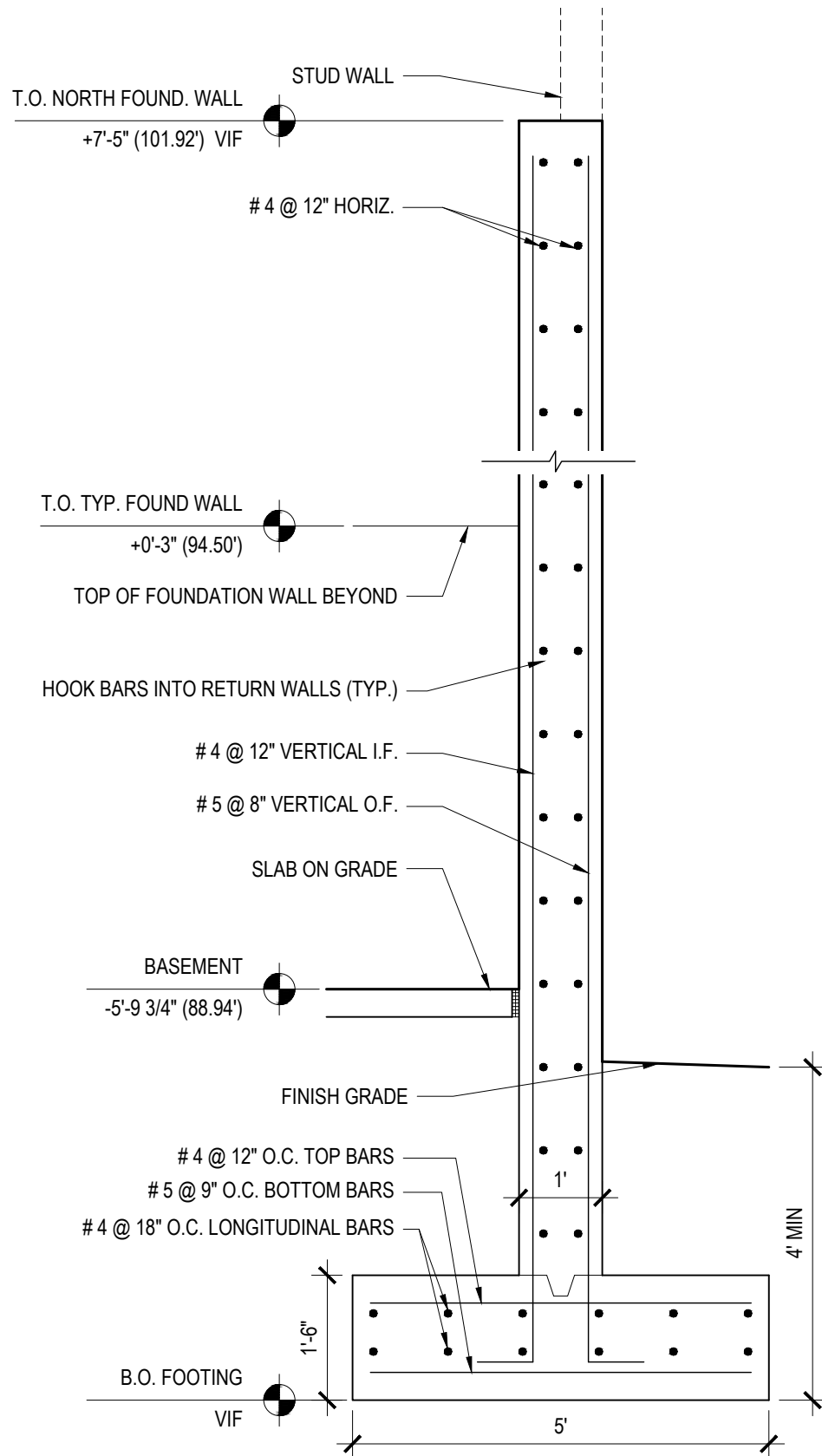
F1 - 8" DIA. SONOTUBE W/ 1 - #5 VERT. SET
SONOTUBE ON BF20 FOOTING & HOOK VERTICAL
BAR INTO FOOTING, TYP.
F2 - 10" THICK X 1'-6" WIDE CONT WALL FOOTING
W/ 3 - #4 BOTTOM LONGITUDINAL BARS AND
VERTICAL HOOKED DOWELS TO MATCH WALL
REINFORCING
F3.5 - 12" THICK X 3'-6" W/ 4 - #4 BOTTOM BARS
EACH WAY

H1 - (2) 2X6
H2 - 2X6 ON FLAT
H3 - (2) 2X6
H4 - (2) 2X8; JAMBS: (3)2X6 (2 JACKS, 1 KING)
H5 - (2) 2X8; JAMBS: (3)2X6 (2 JACKS, 1 KING)
H6 - 2X6 ON FLAT
H7 - (2) 2X8 (SEE NOTES ON PLAN)
H8 - (2) 2X6
H9 - (2) 2X8

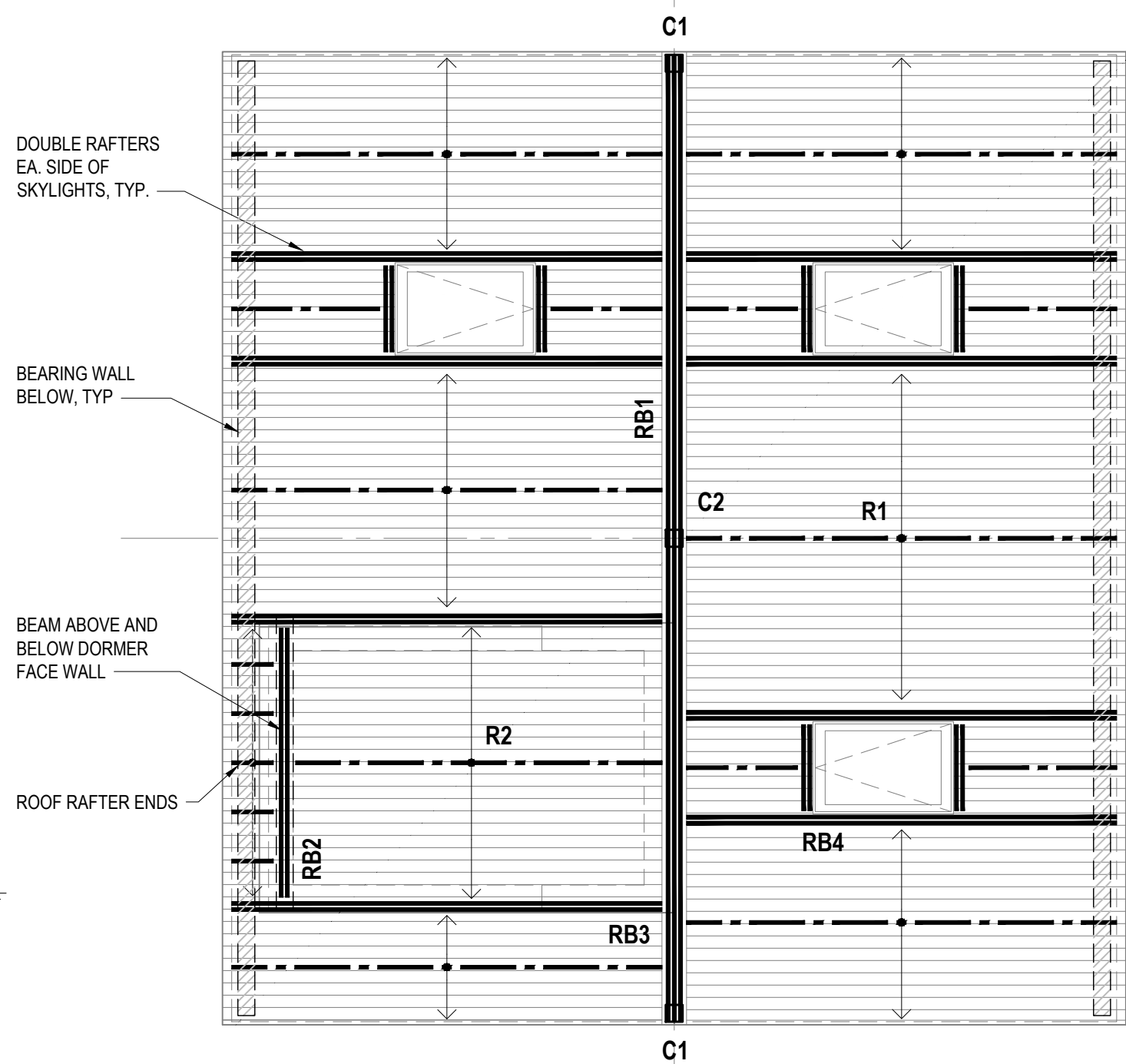
J1 - 2X10 @ 24" O.C.
J2 - 2X10 @ 24" O.C.
J3 - 2X6 @ 24" O.C.
J4 - 2X6 @ 24" PT SYP NO. 2
L1 - 2X10 PT LEDGER

R1 - 2X10 @ 24" O.C.
R2 - 2X10 @ 24" O.C.
RB1 - (3) 1 3/4" X 11 7/8" LVL
RB2 - ABOVE: (3) 1 3/4" X 5 1/2" LVL; BELOW: (2) 2X10
RB3 - (2) 2X10 EA. SIDE OF DORMER
RB4 - (2) 2X10 EA. SIDE OF SKYLIGHT, TYP.

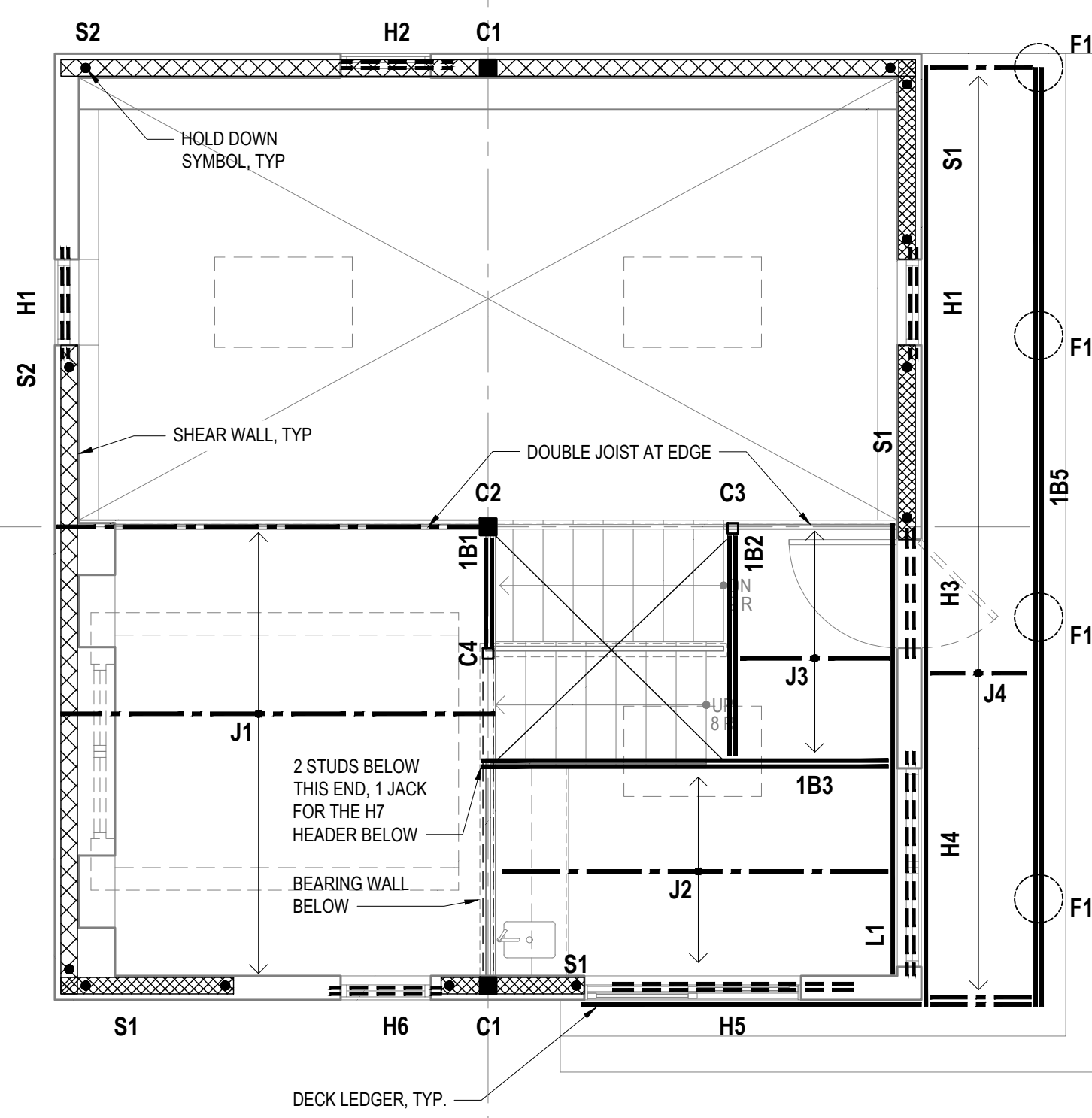
S1 - SIMPSON HD08 HOLD DOWN ANCHORS.
BLOCKING AT SHEATHING PANEL EDGES. 10D
COMMON NAILS @ 4" O.C. @ PANEL EDGES AND
INTERIOR STUDS.
S2 - SIMPSON HD02 HOLD DOWN ANCHORS W/ (2)
2X6 CHORDS AT EACH END. 8D COMMON NAILS @ 8"
O.C. @ PANEL EDGES AND 12" O.C. @ INTERIOR
STUDS.



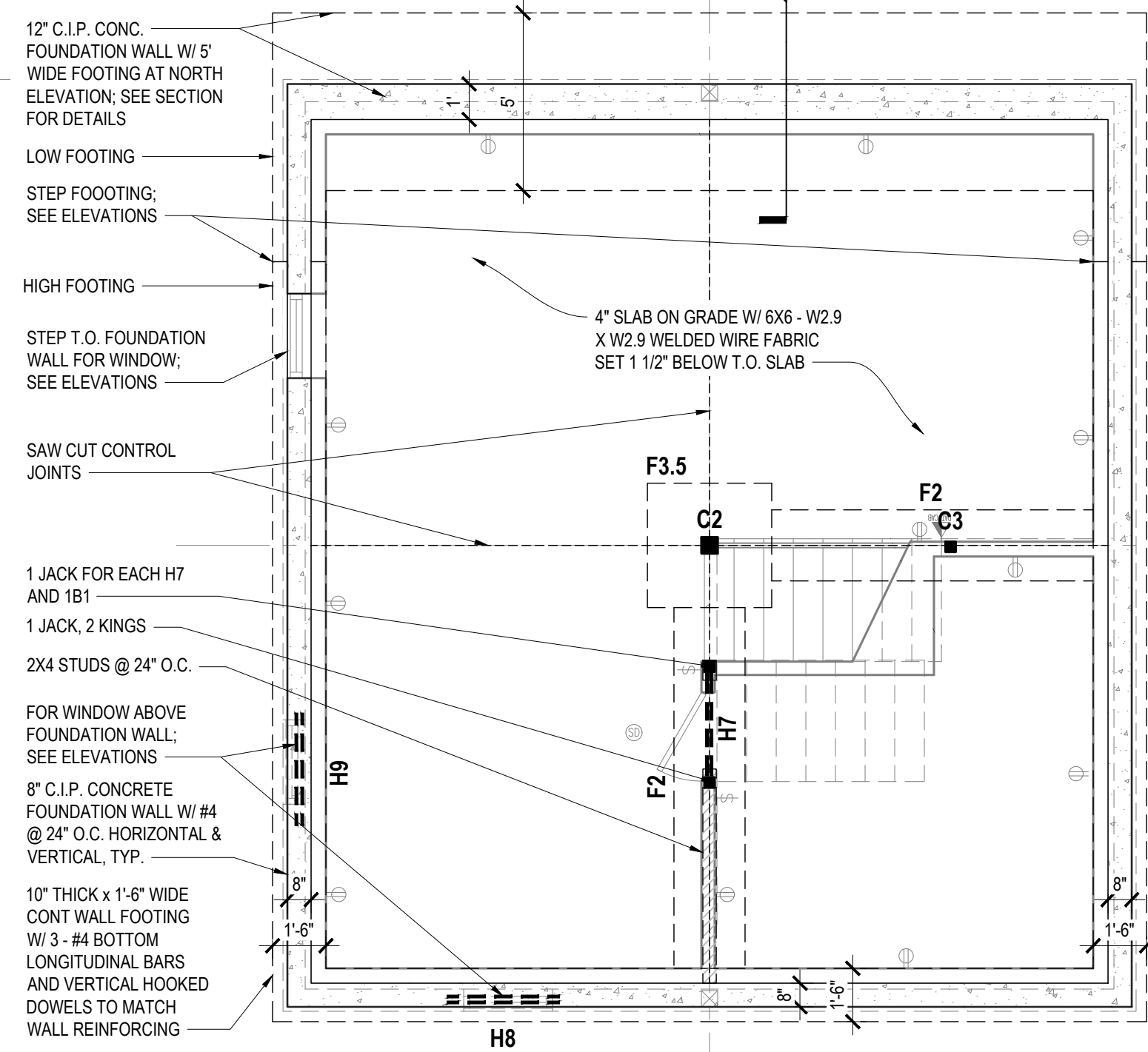
8 FOUNDATION SECTION
NORTH FOUNDATION WALL 1/2" = 1'-0"



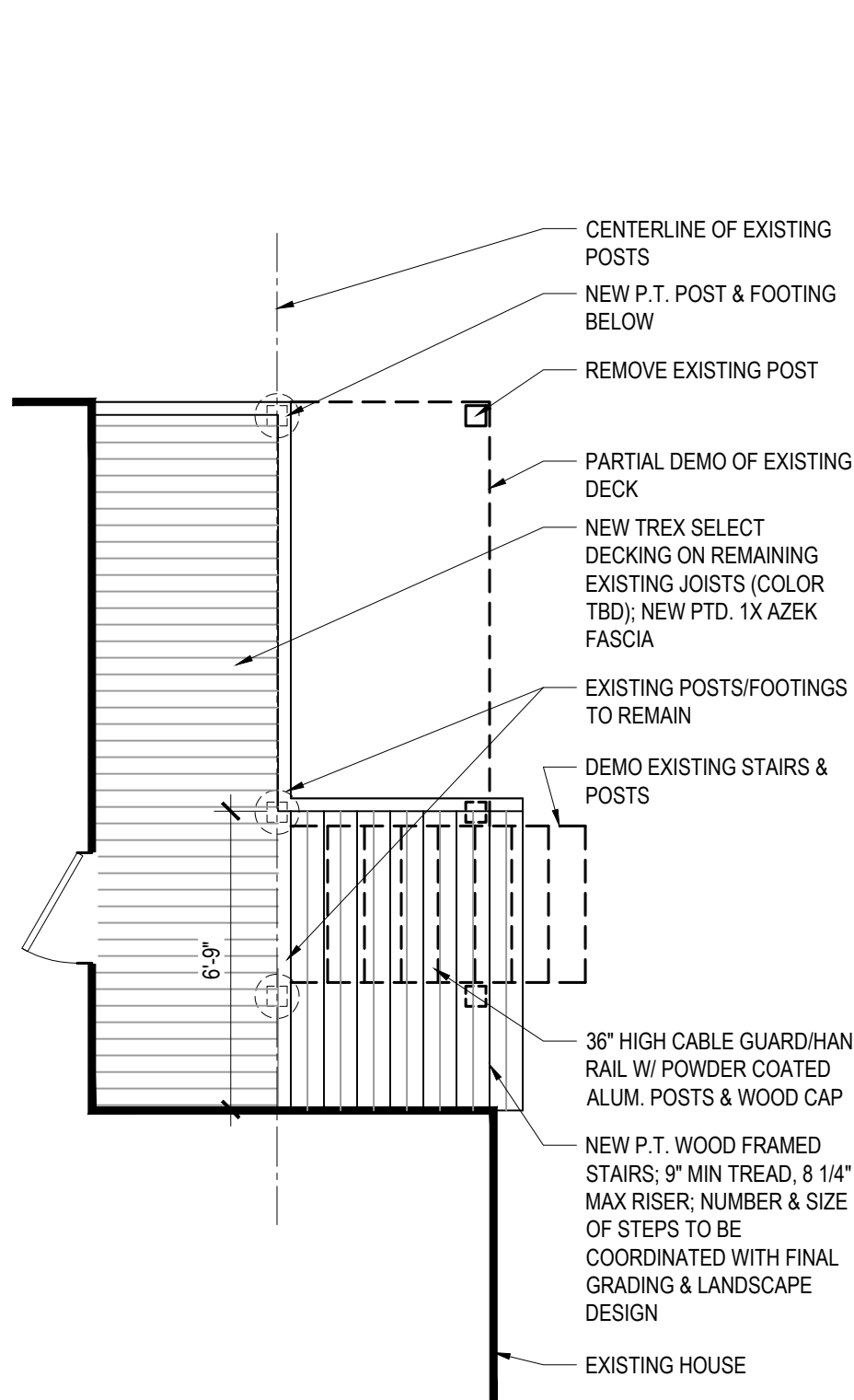
7 ROOF FRAMING PLAN 1/4" = 1'-0"



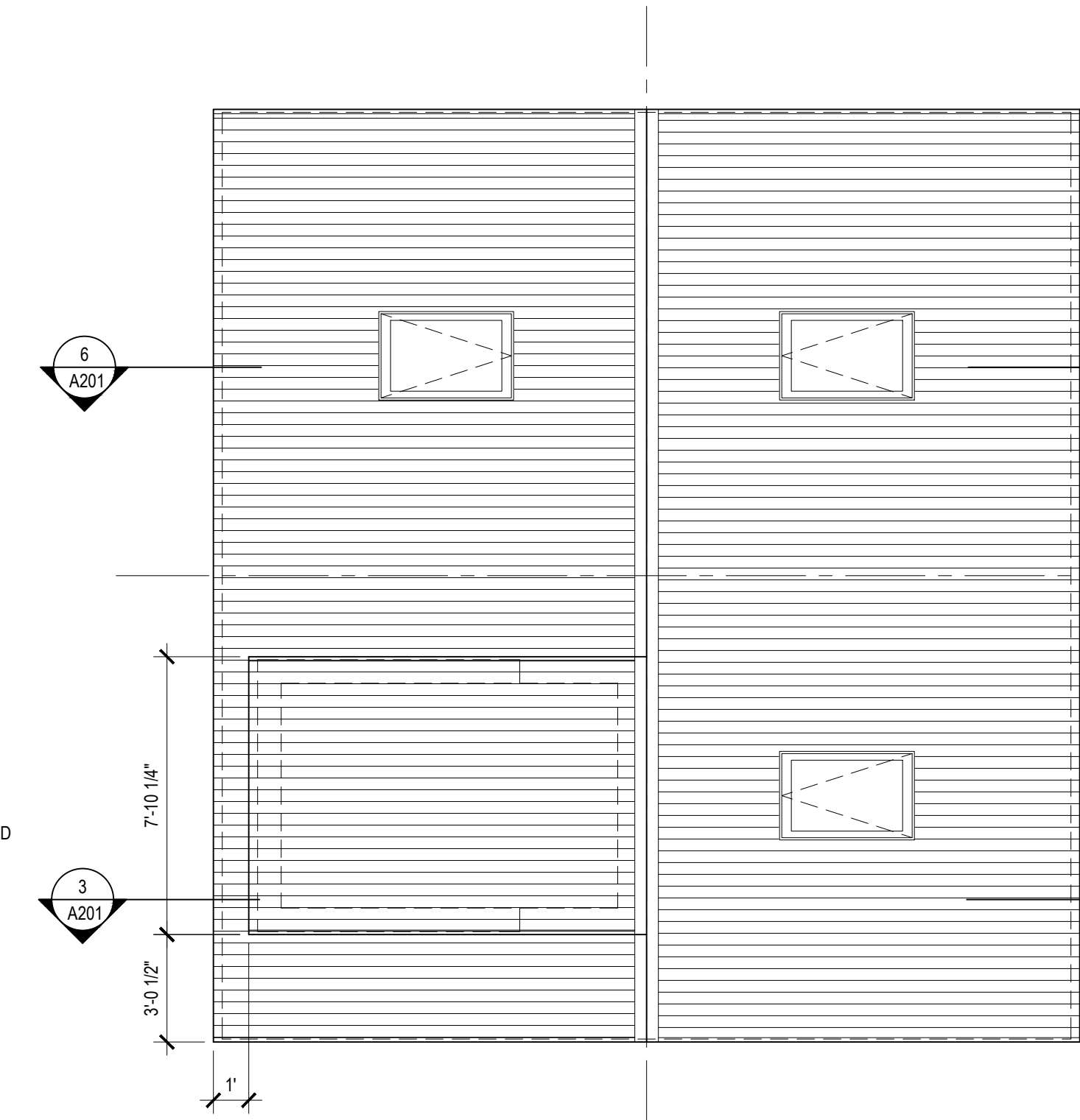
6 ENTRY LEVEL & LOFT FRAMING PLAN 1/4" = 1'-0"



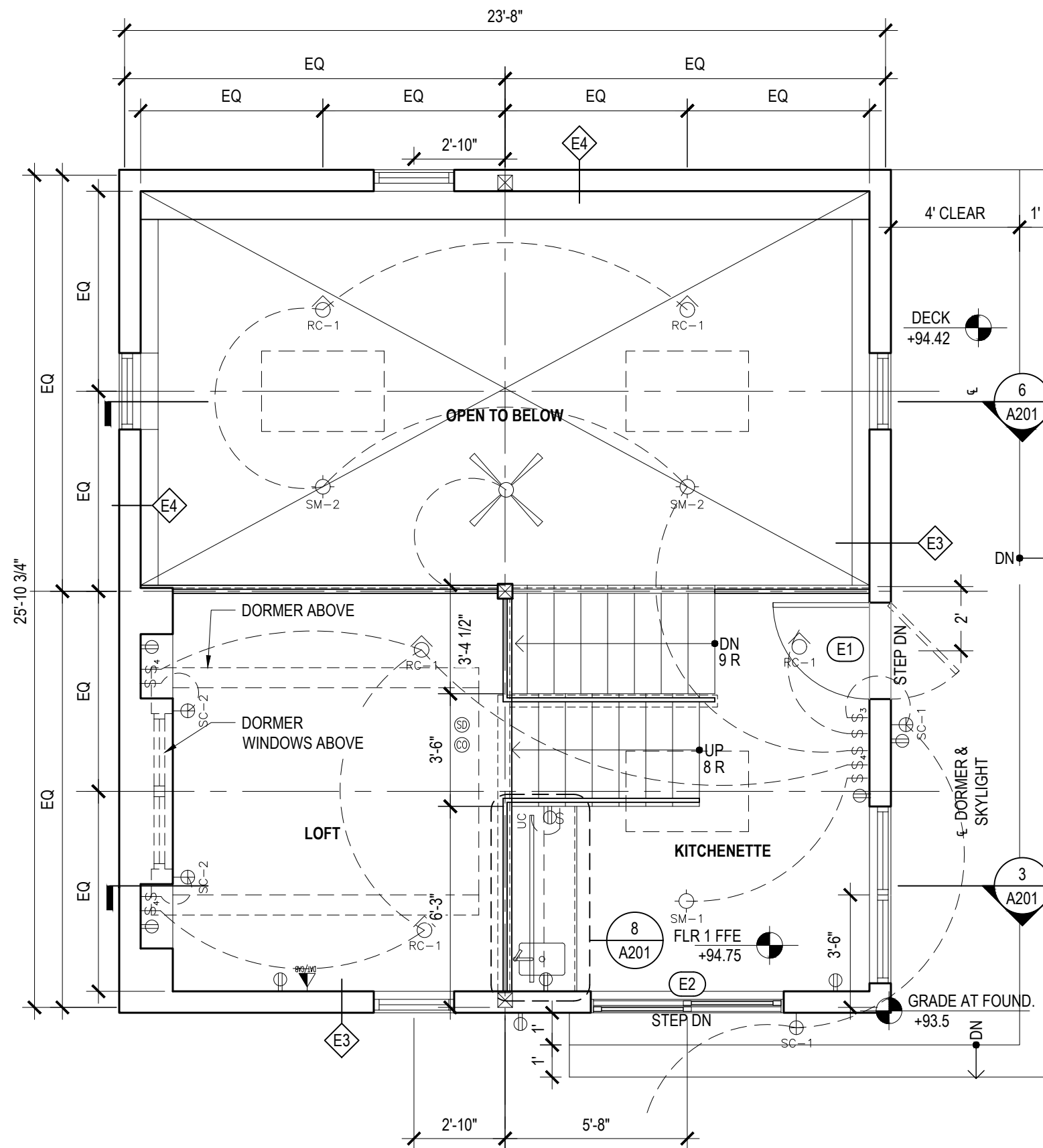
5 BASEMENT STRUCTURAL PLAN 1/4" = 1'-0"



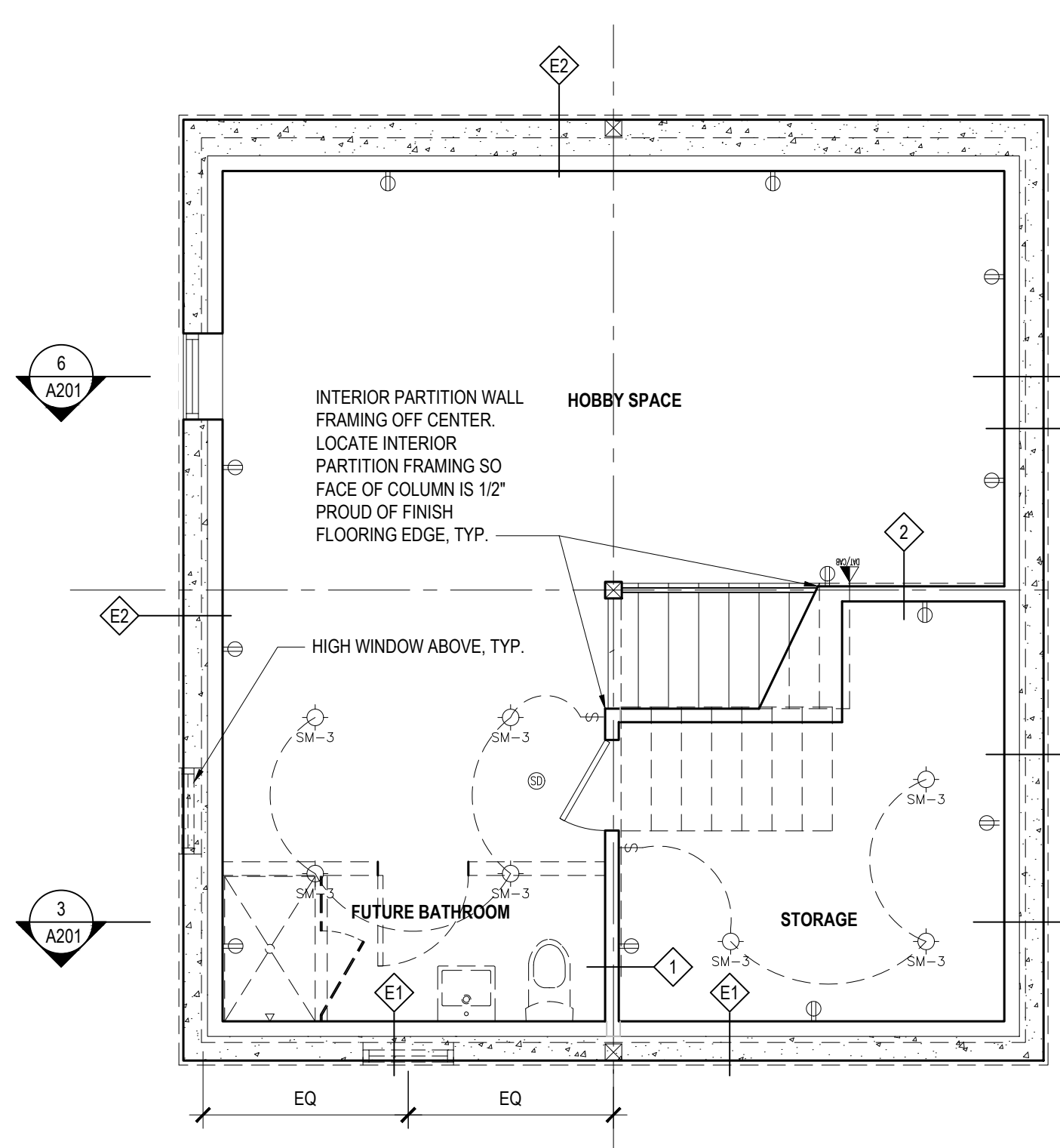
4 EXISTING DECK RENOVATION 1/4" = 1'-0"



3 ROOF PLAN 1/4" = 1'-0"



2 ENTRY LEVEL & LOFT PLAN 1/4" = 1'-0"



1 BASEMENT PLAN 1/4" = 1'-0"

ALBION ST. BARN

59 ALBION ST.
SOMERVILLE, MA 02143

PROJECT

KATE + DARYL ST.
LAURENT

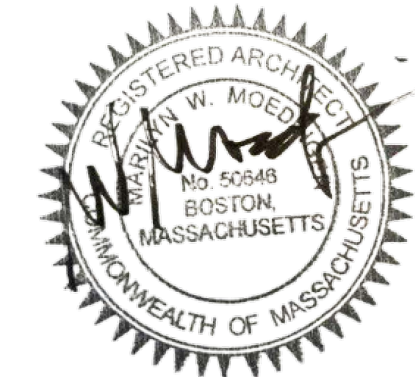
59 ALBION ST.
SOMERVILLE, MA 02143

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MARILYN@RUNCIBLESTUDIOS.COM

ARCHITECT

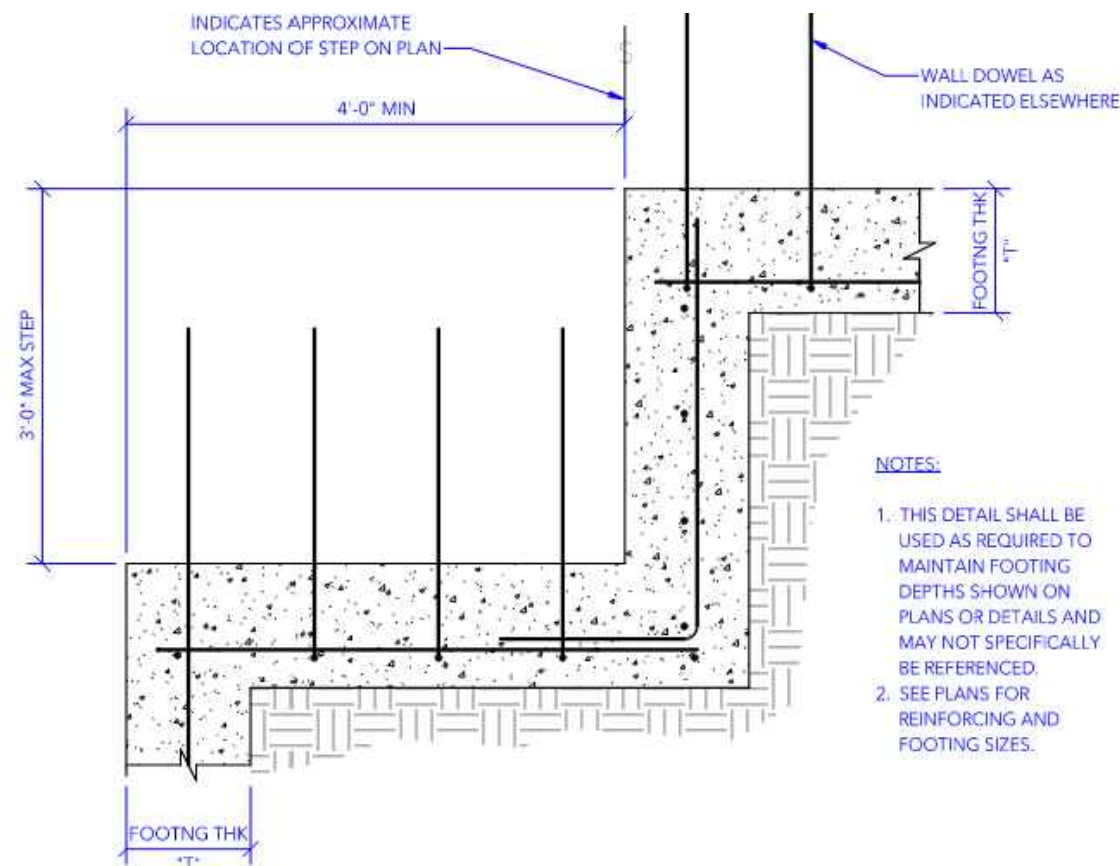


19 JUN 2020 DRAFT SET
17 JUL 2020 PRICING SET
17 NOV 2020 PERMIT SET
22 SEP 2021 REV. PERMIT SET

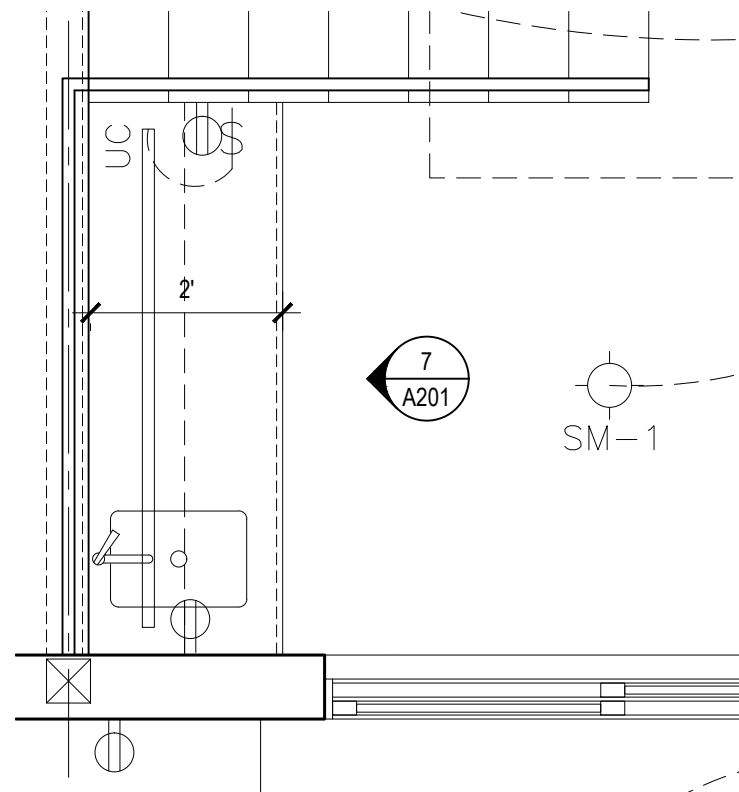
SCALE
AS NOTED

FLOOR PLANS

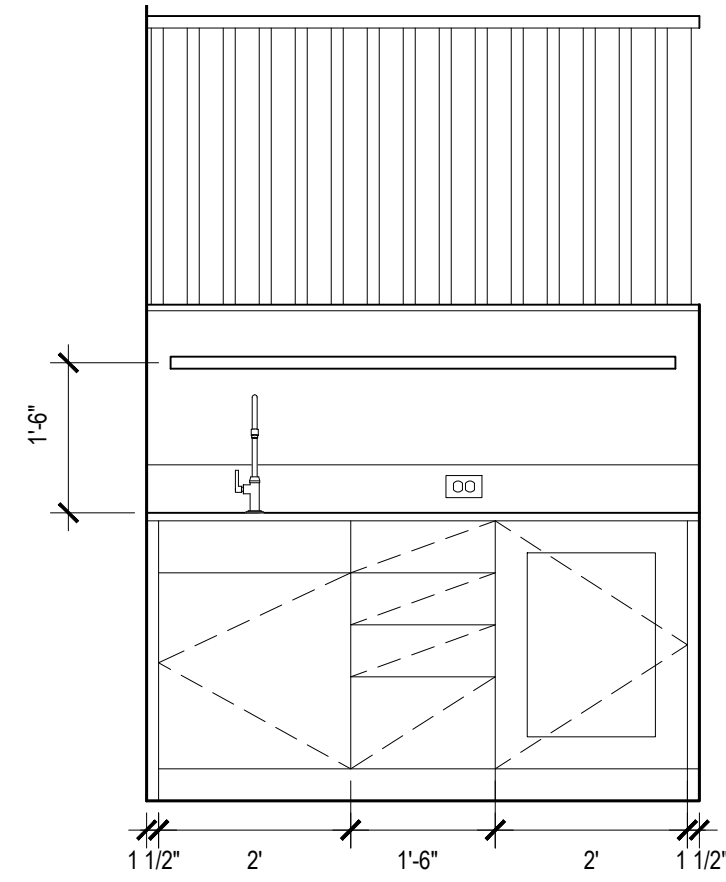
A101



9 STEPPED FOOTING DETAIL
NOT TO SCALE



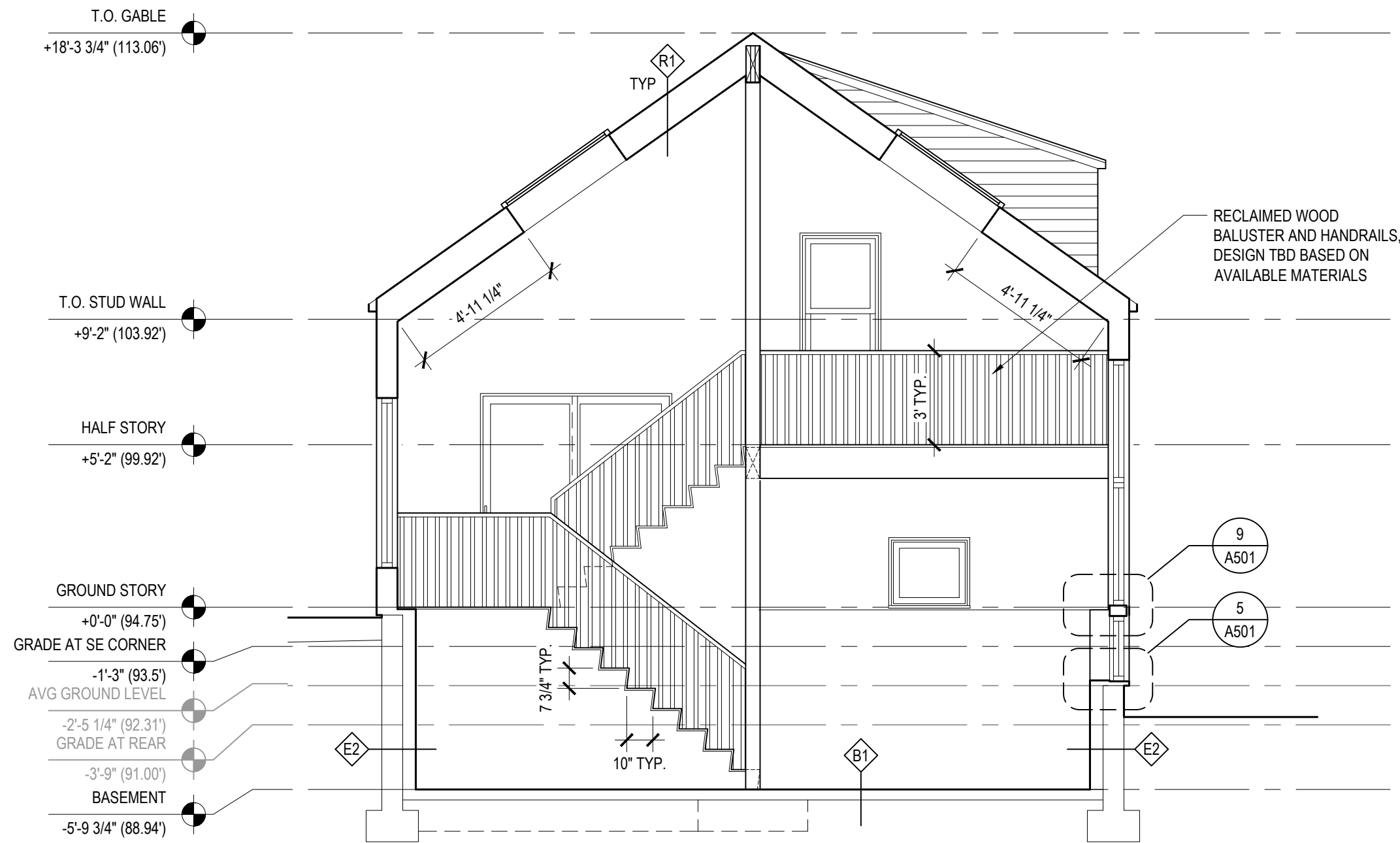
8 ENLARGED KITCHENETTE PLAN
1/2" = 1'-0"



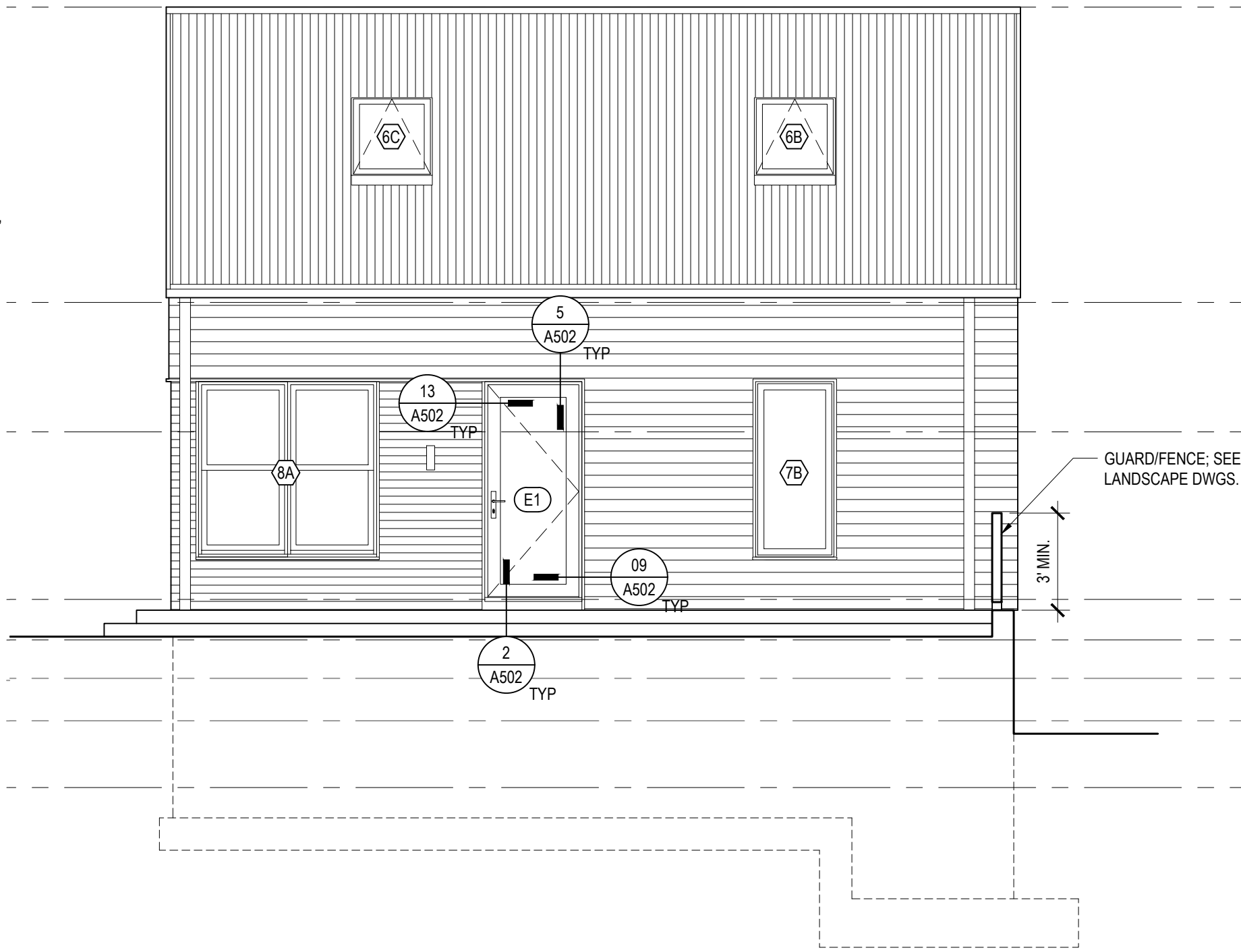
7 KITCHENETTE ELEVATION
1/2" = 1'-0"

EXTERIOR ELEVATION NOTES

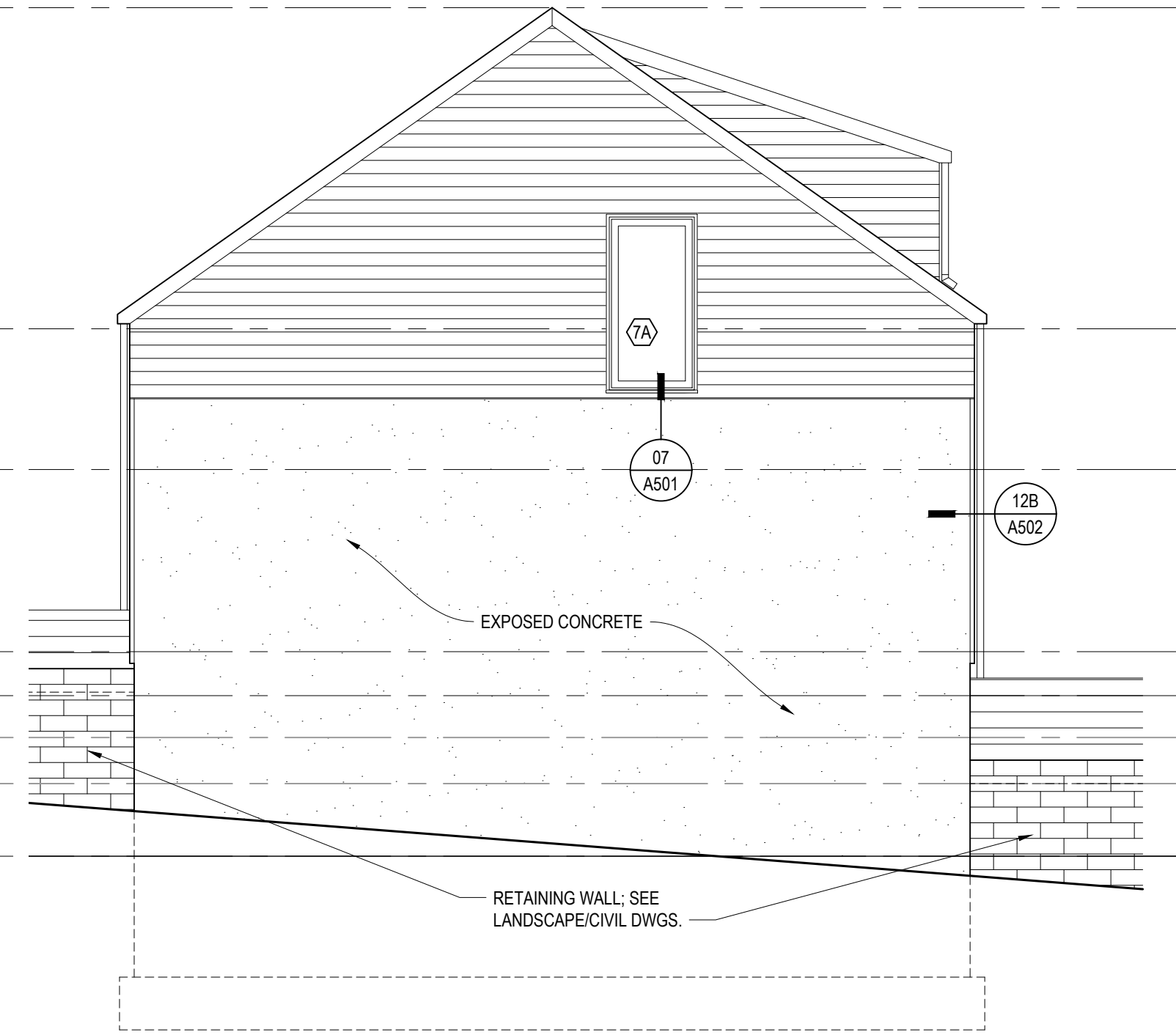
- ROOF: CORRUGATED METAL ROOF, GALVALUME FINISH
- RAKE TRIM: MATCH ROOF
- GUTTERS: RECTANGULAR METAL, FINISH TO MATCH ROOF, SEE DETAIL
- DOWNSPOUTS: METAL 3X4 SMOOTH BOX, FINISH TO MATCH ROOF
- WINDOWS & DOORS: SEE SCHEDULE
- WINDOW TRIM: 5/4" PAINTED PVC, CEDAR AT T&G SIDING, REF ELEV & DTLS
- SIDING: HARDIEPLANK, SMOOTH, IRON GRAY, 4" EXPOSURE
- ENTRY CORNER CLADDING: 1X3 V-GROOVE CLEAR GRADE T&G CEDAR, CLEAR COAT
- DECKING & STEP TREADS: 5/4 X 4 CEDAR, CLEAR COAT
- DECKING FASCIA & STEP RISERS: 1X CEDAR, CLEAR COAT
- FOUNDATION WALL: EXPOSED CONCRETE



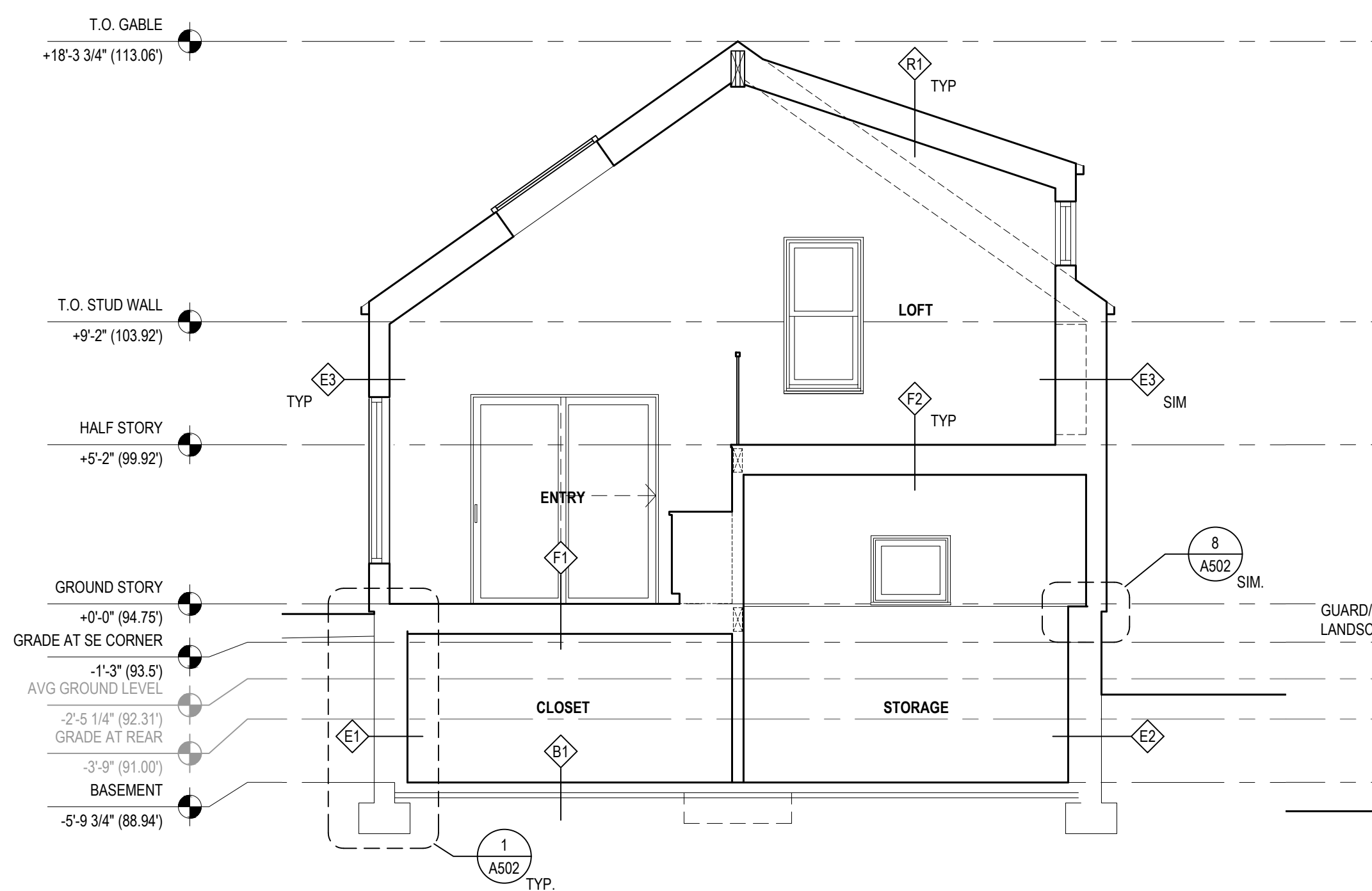
6 CROSS SECTION
1/4" = 1'-0"



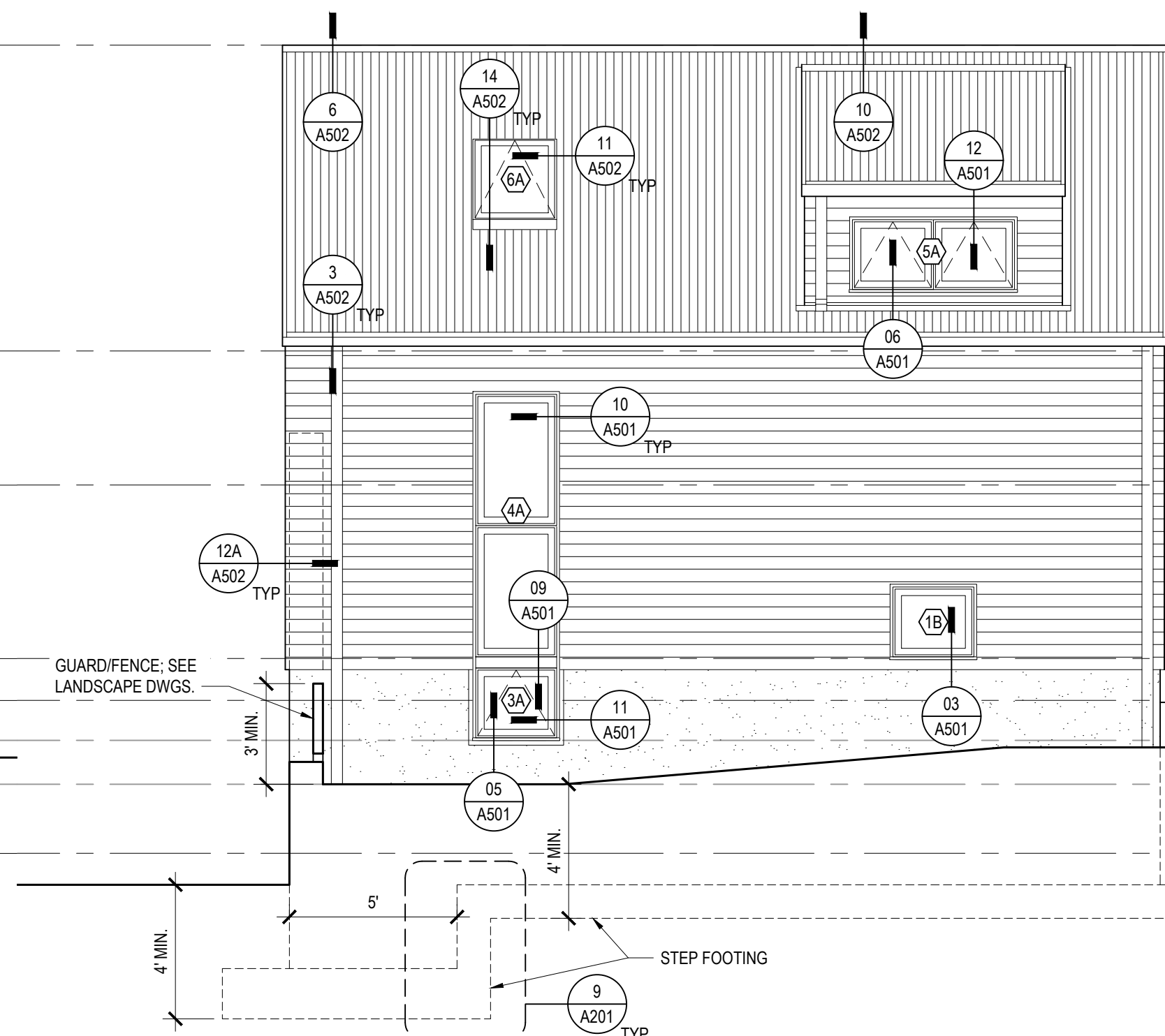
5 EAST ELEVATION
1/4" = 1'-0"



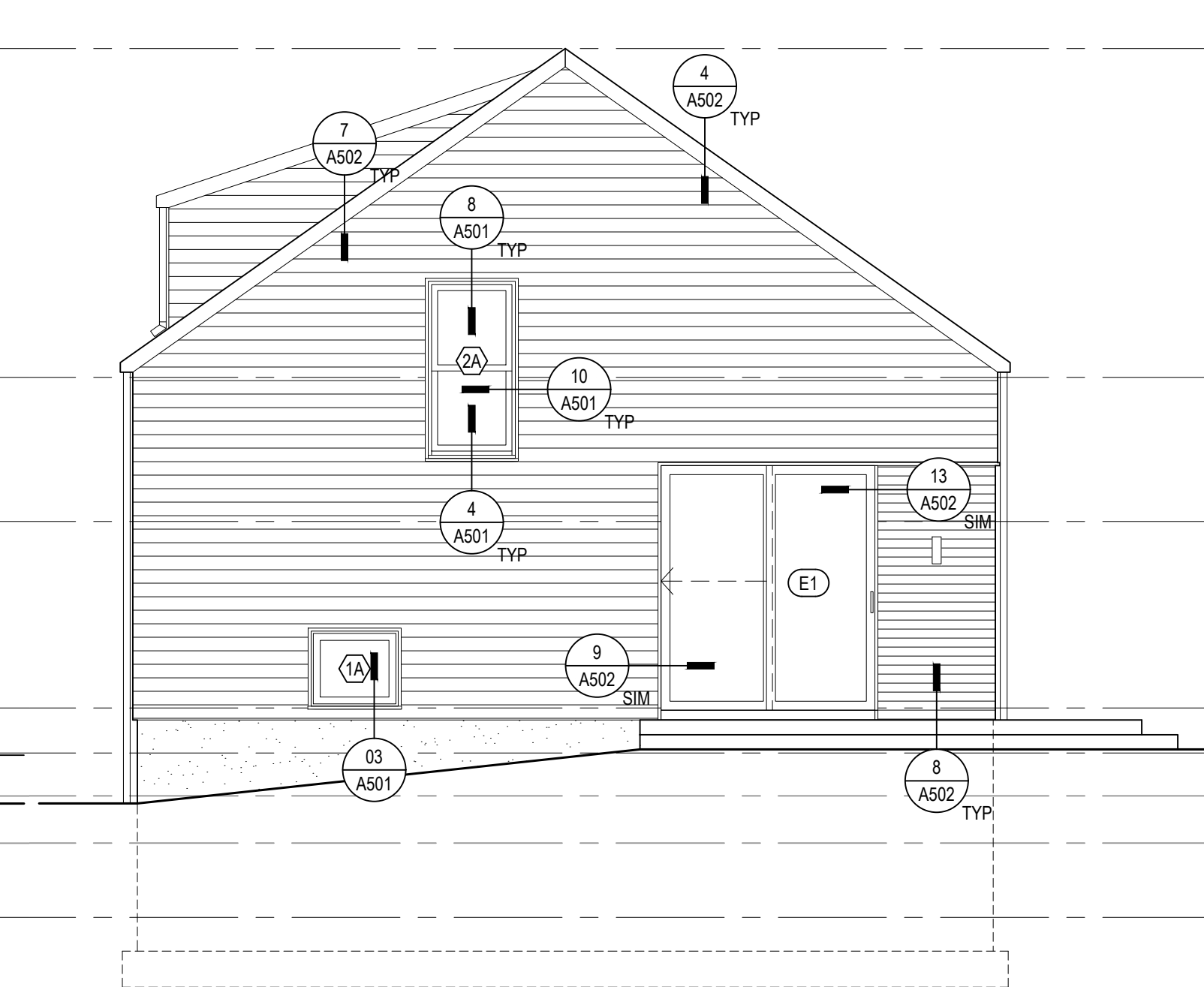
4 NORTH ELEVATION
1/4" = 1'-0"



3 CROSS SECTION THRU LOFT/DORMER
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

ALBION ST. BARN

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KATE + DARYL ST.
LAURENT

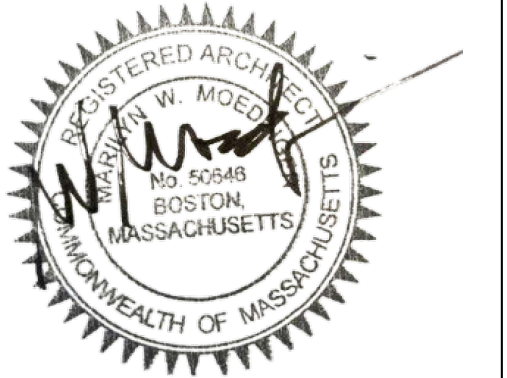
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SCALE
AS NOTED

PROPOSED
ELEVATIONS &
SECTIONS

A201

ALBION ST. BARN

59 ALBION ST.
SOMERVILLE, MA 02143

PROJECT

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LAURENT

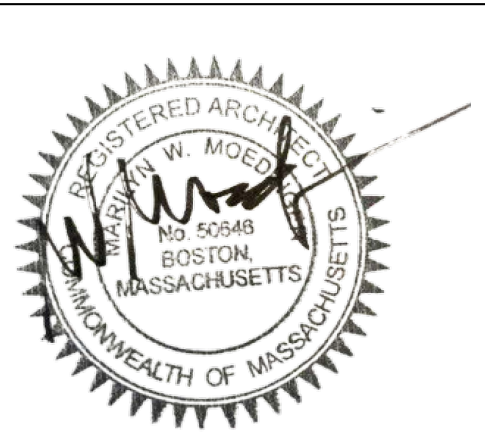
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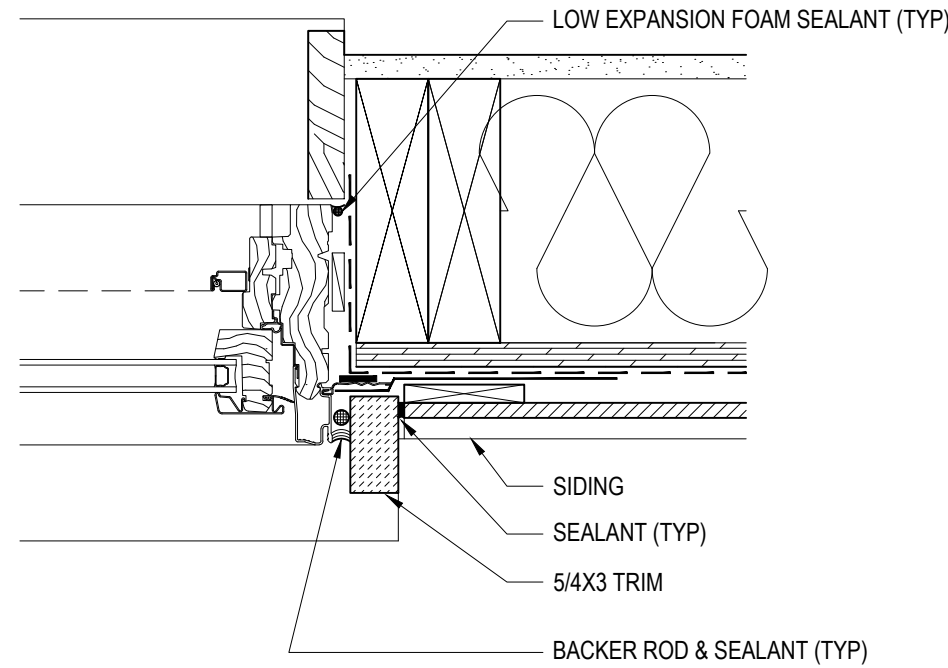


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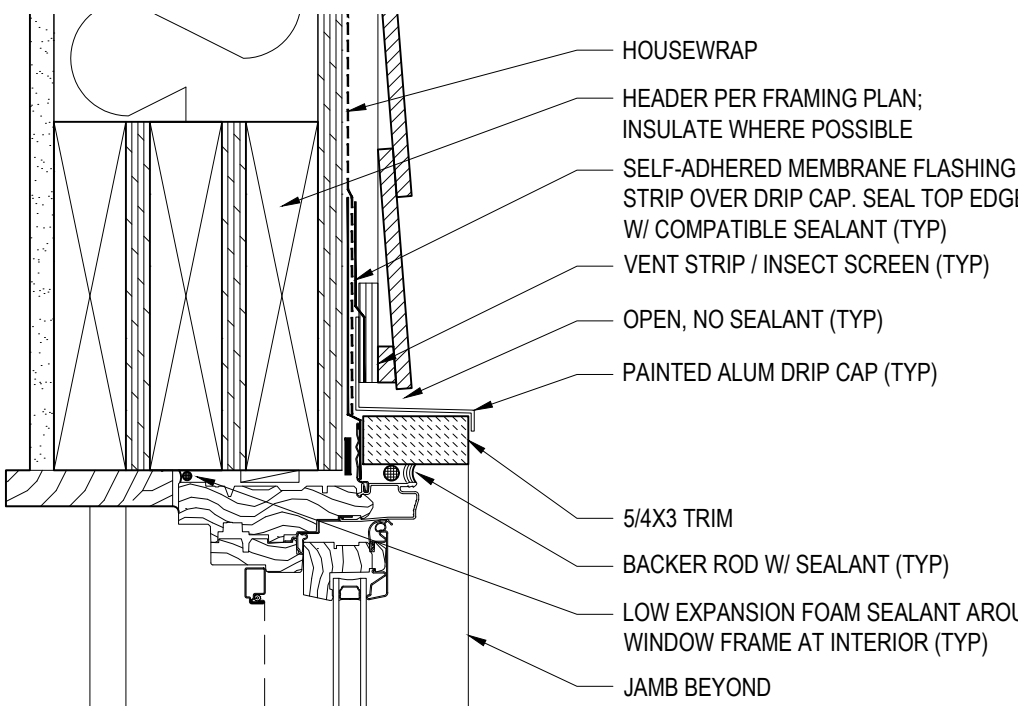
SCALE
AS NOTED

EXTERIOR DETAILS

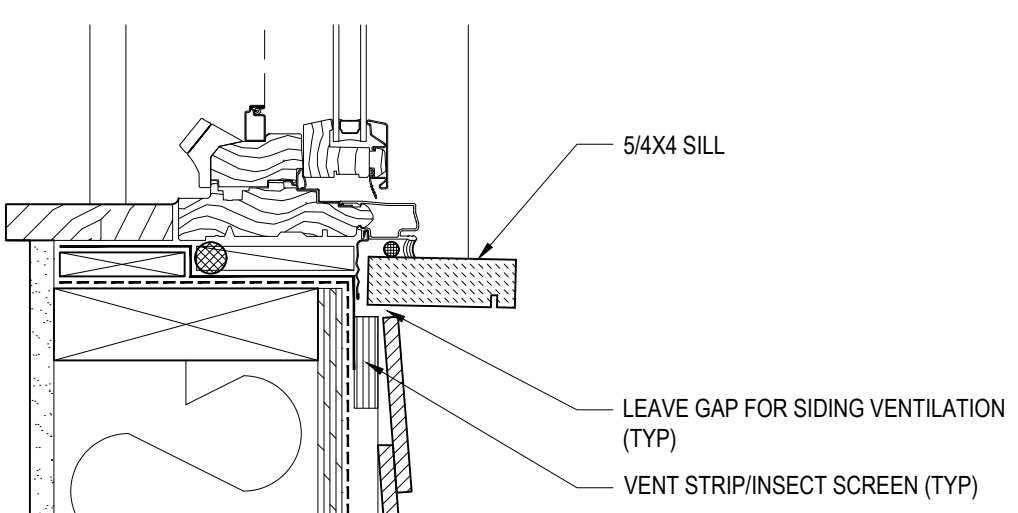
A501



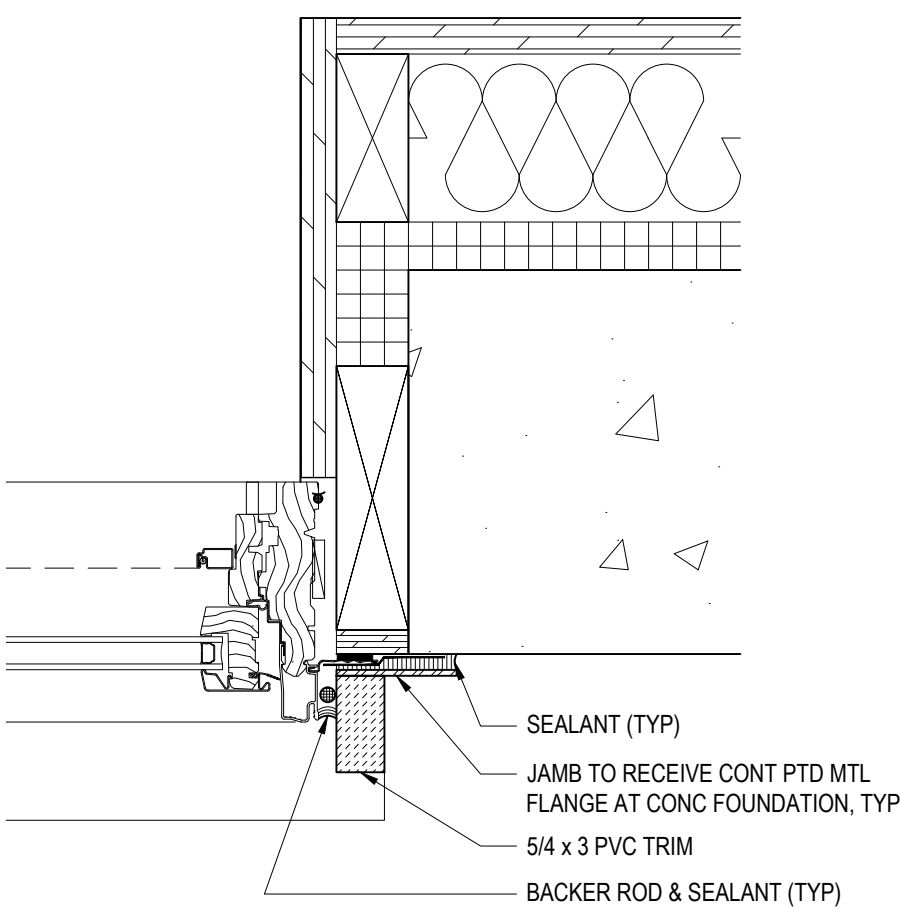
10 TYP WINDOW JAMB
PLAN DETAIL 3" = 1'-0"



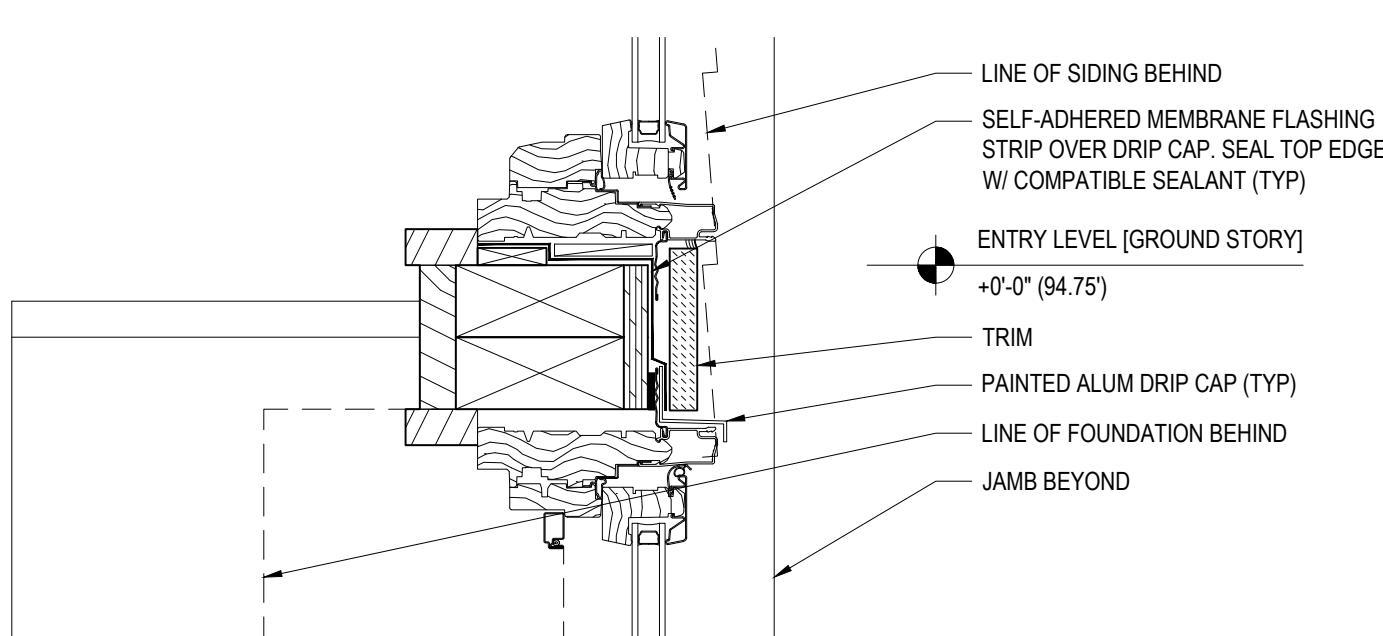
8 TYP WINDOW HEAD
SECTION DETAIL 3" = 1'-0"



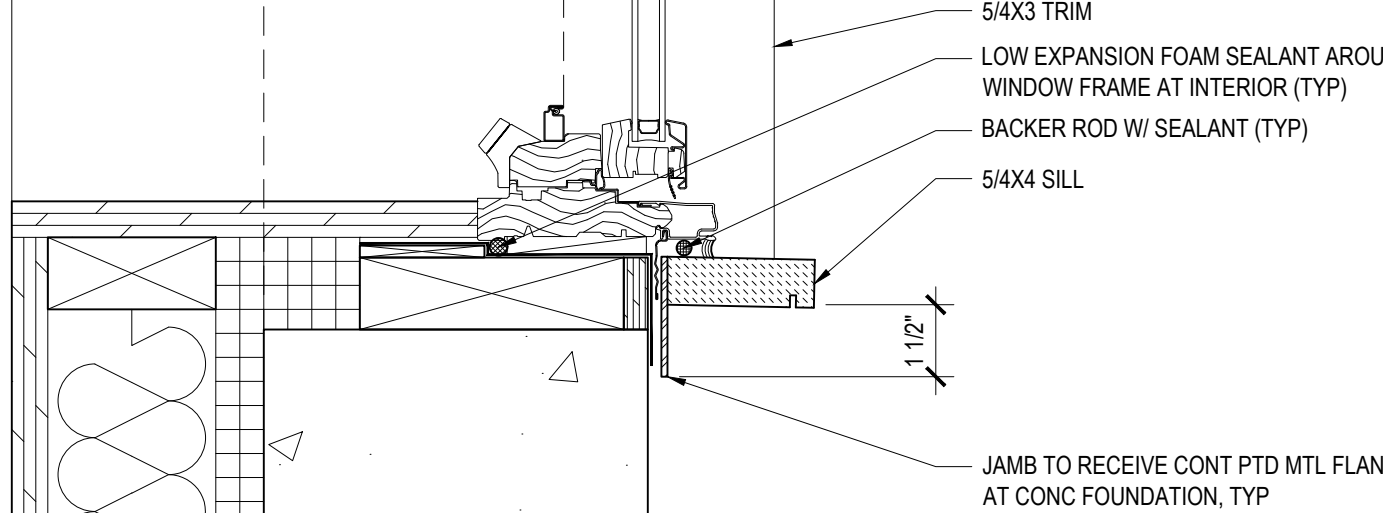
4 TYP WINDOW SILL
SECTION DETAIL 3" = 1'-0"



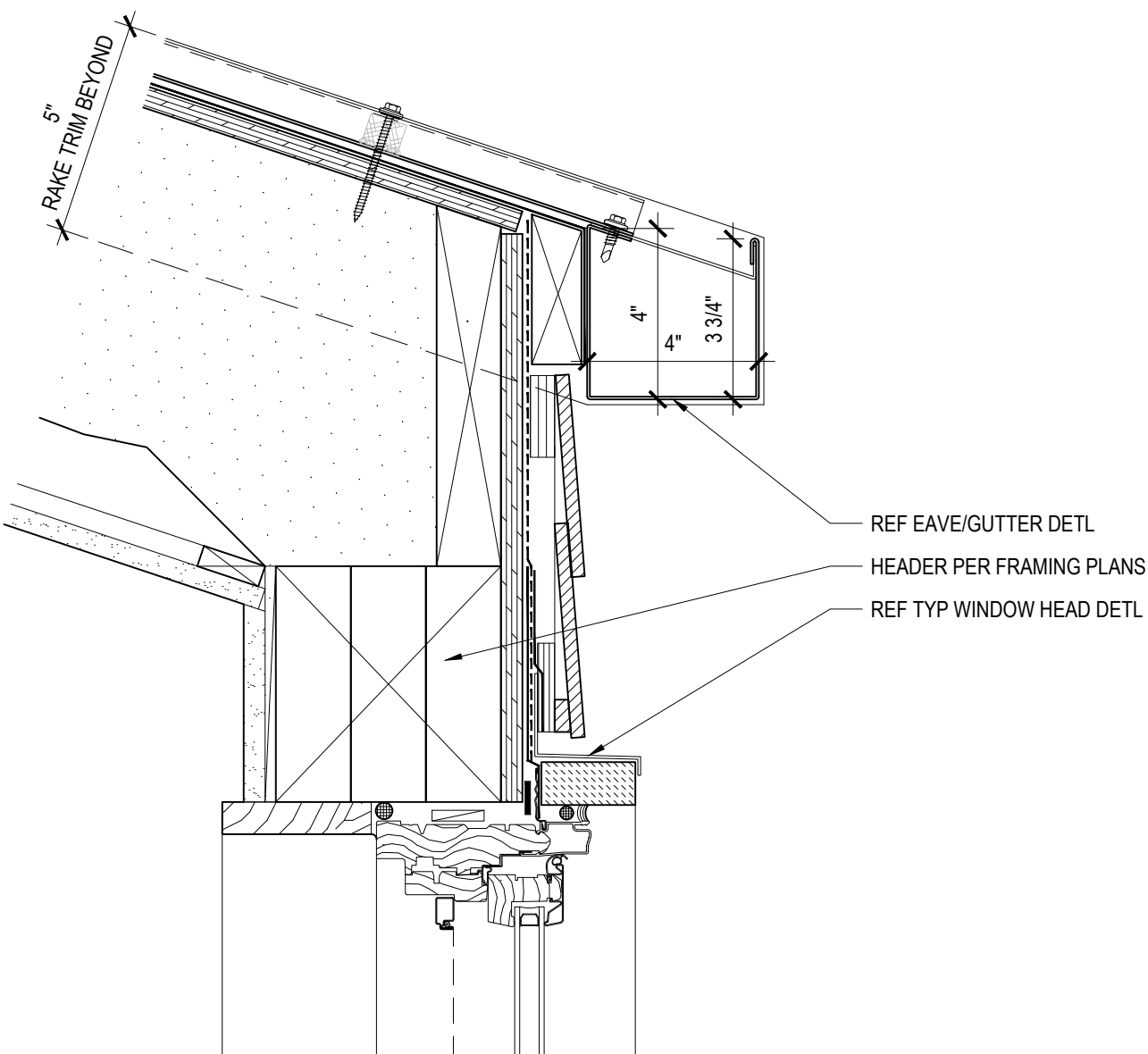
11 AWNING WINDOW JAMB
SECTION DETAIL 3" = 1'-0"



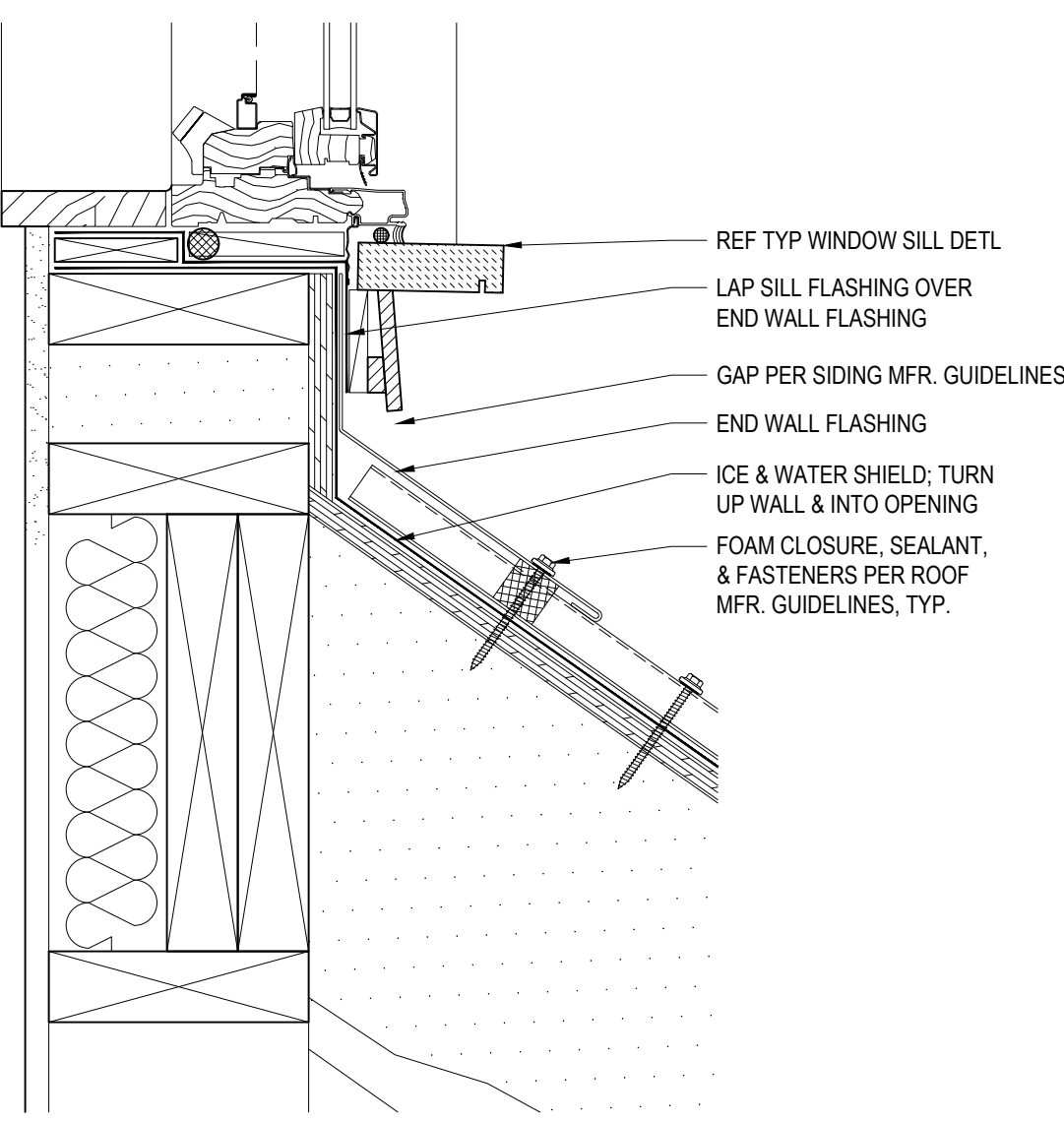
9 AWNING WINDOW HEAD
SECTION DETAIL 3" = 1'-0"



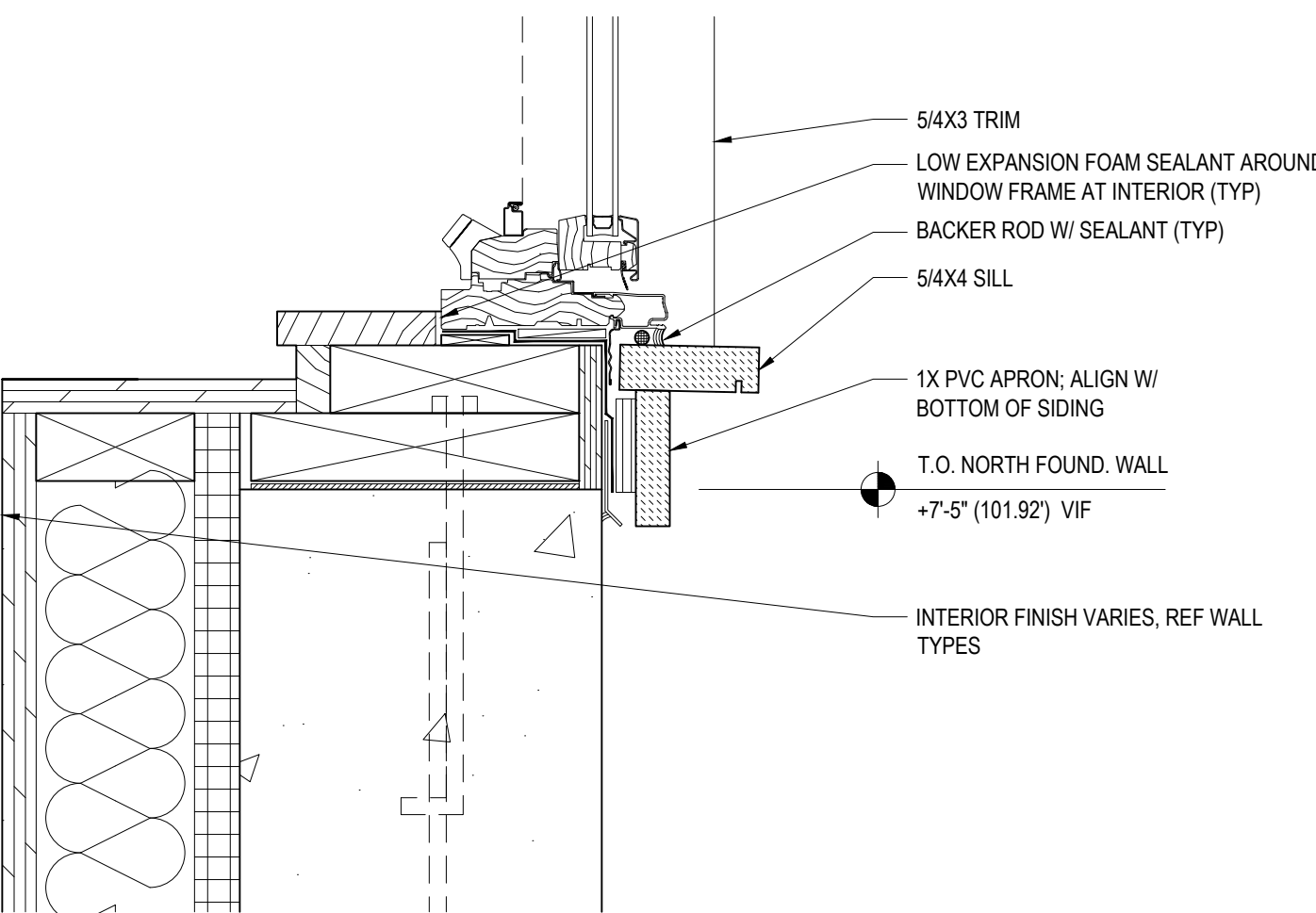
5 AWNING WINDOW SILL
SECTION DETAIL 3" = 1'-0"



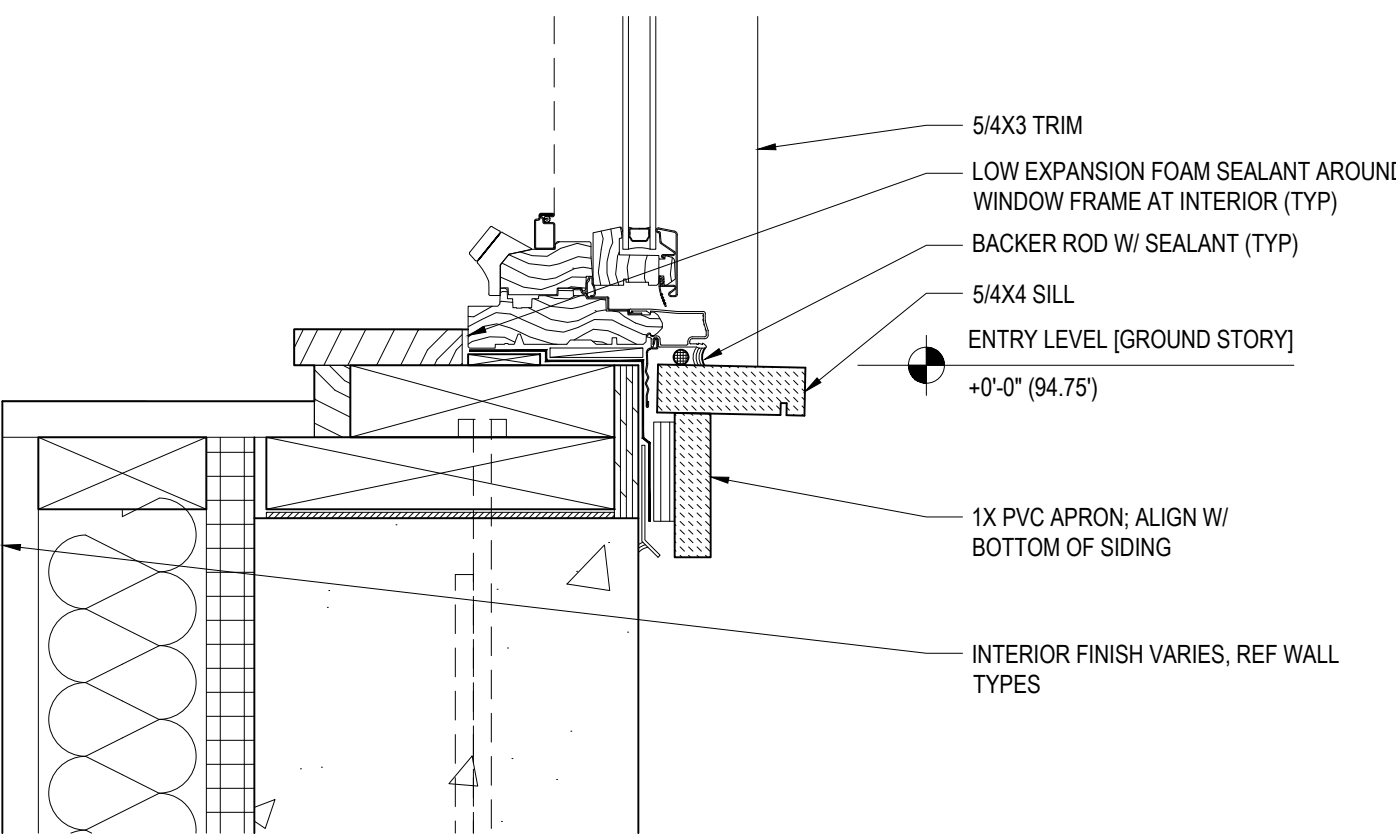
12 DORMER EAVE & WINDOW HEAD
SECTION DETAIL 3" = 1'-0"



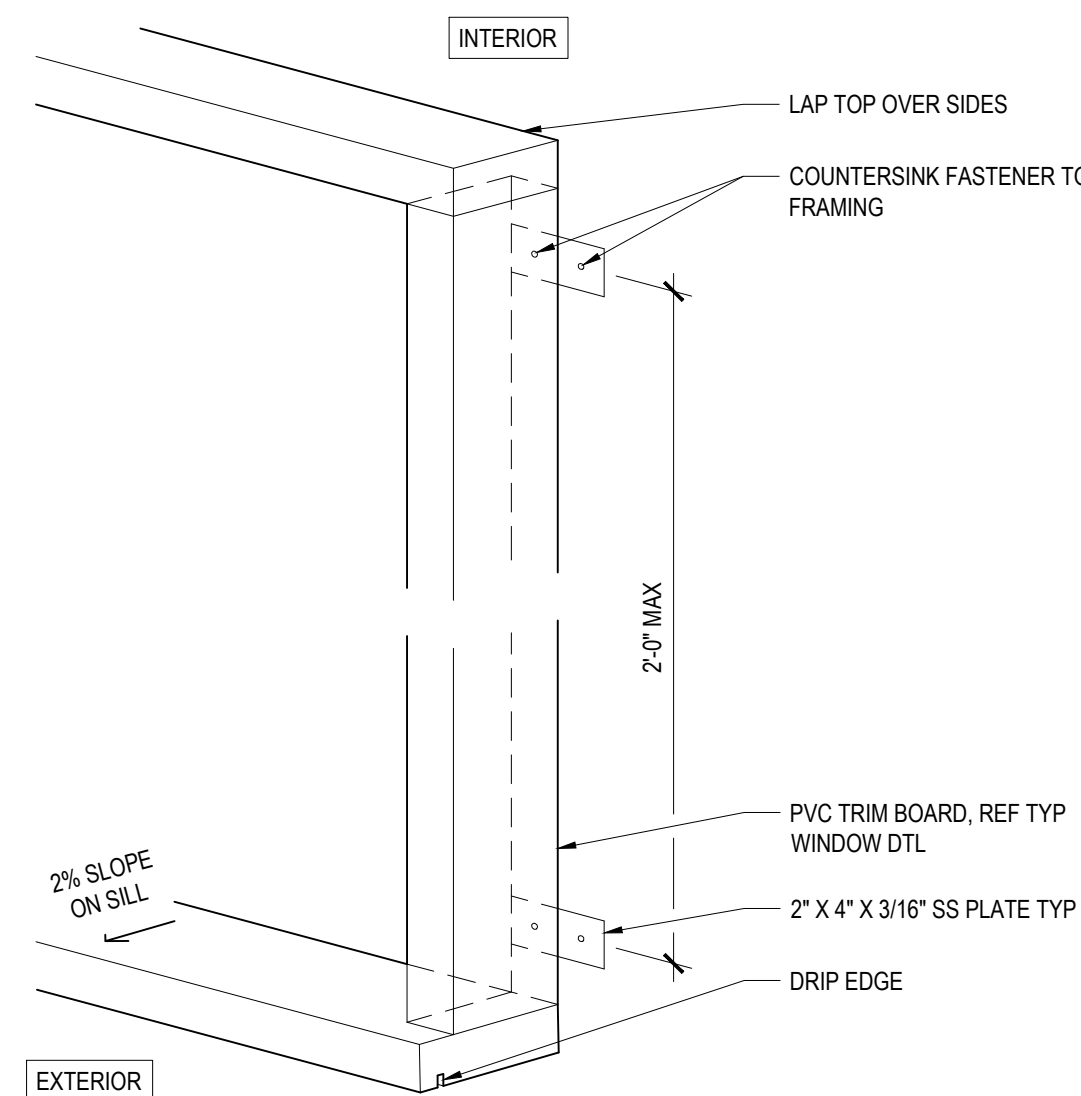
6 DORMER WINDOW SILL
SECTION DETAIL 3" = 1'-0"



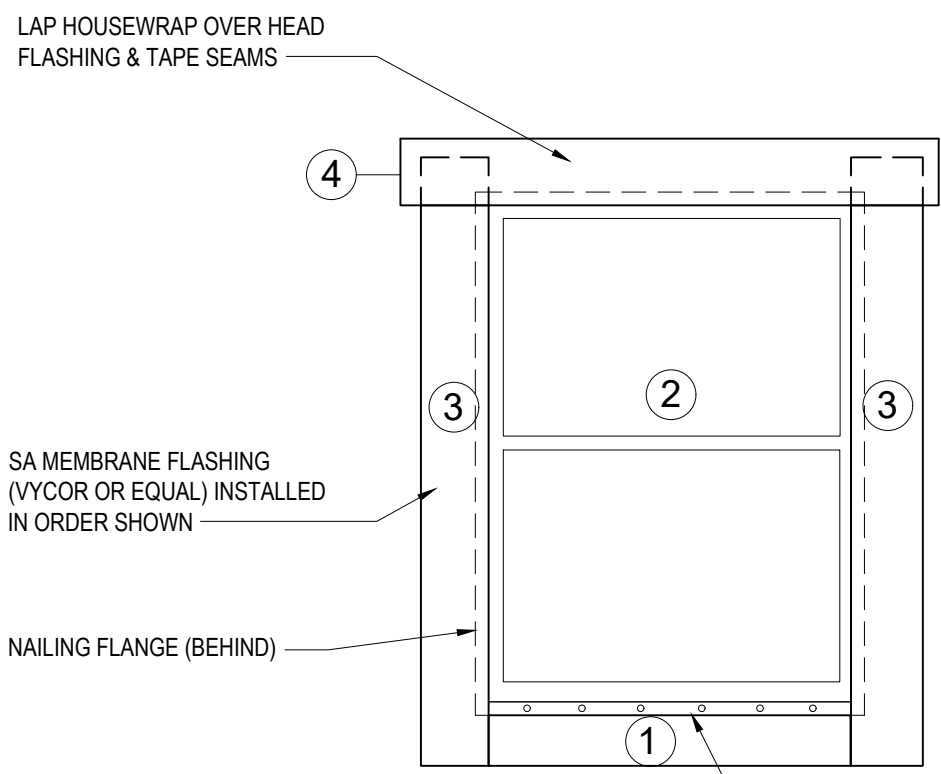
7 NORTH WALL WINDOW SILL
SECTION DETAIL 3" = 1'-0"



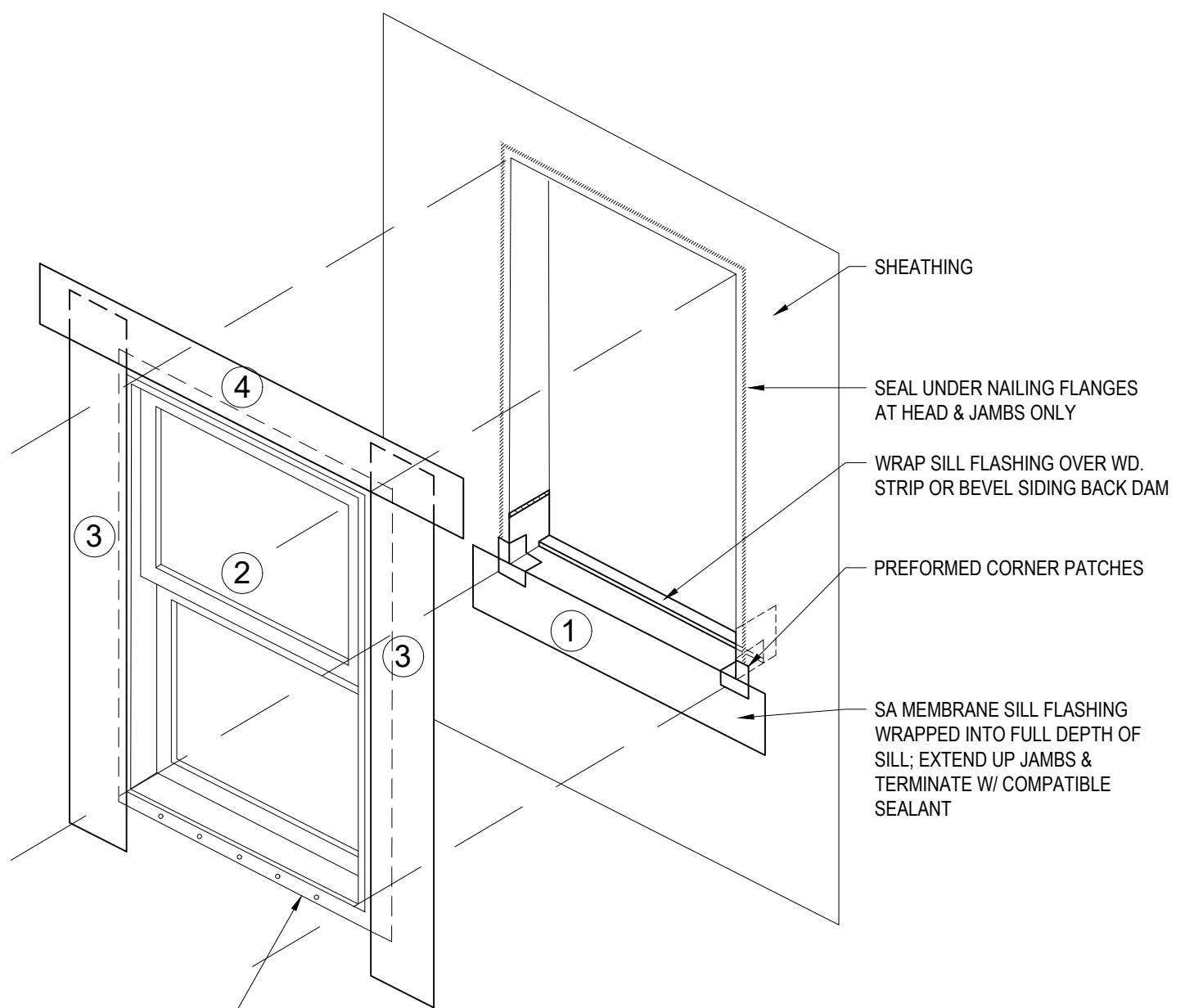
3 TYP. WINDOW SILL @ T.O. FOUNDATION
SECTION DETAIL 3" = 1'-0"

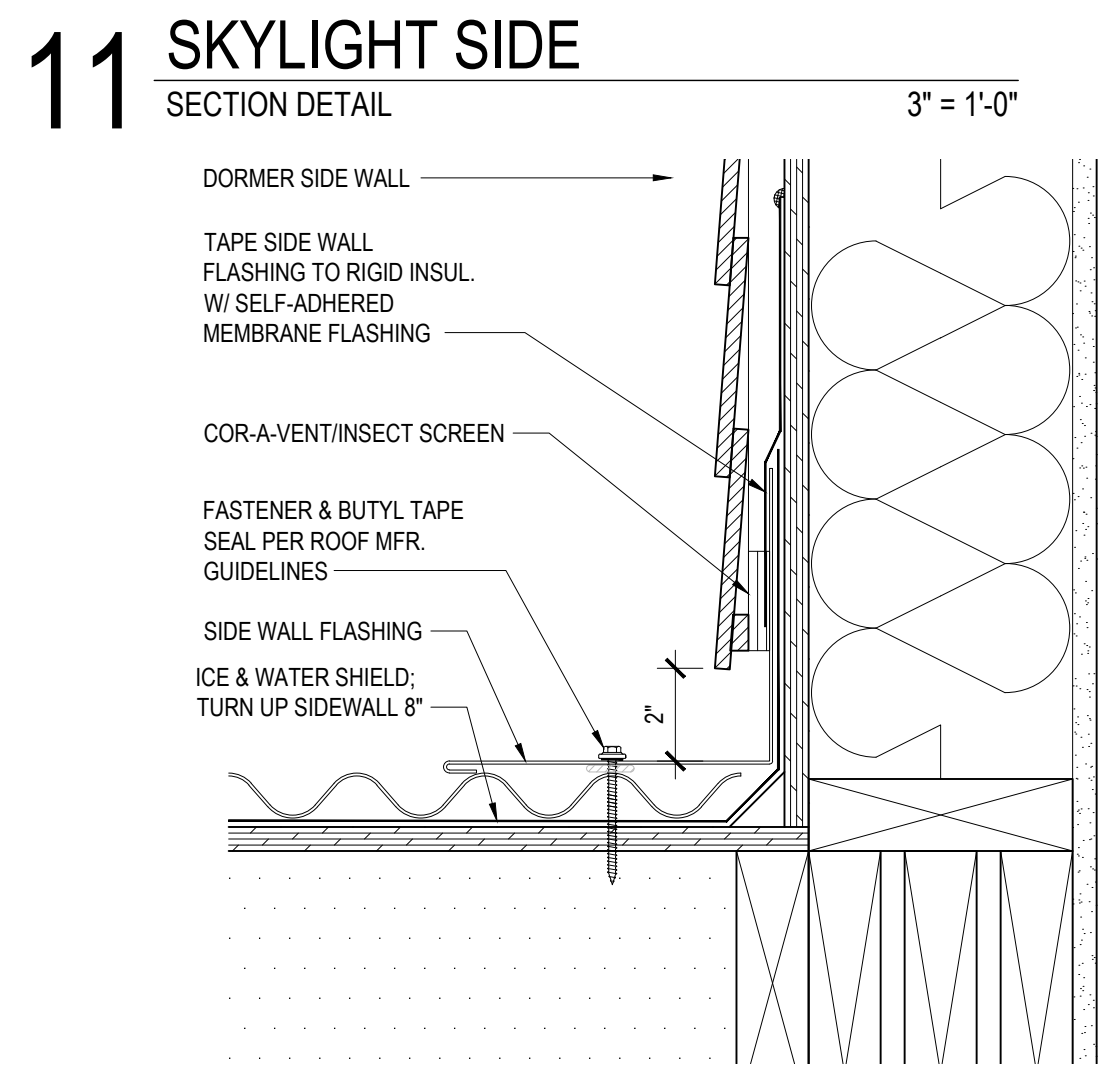
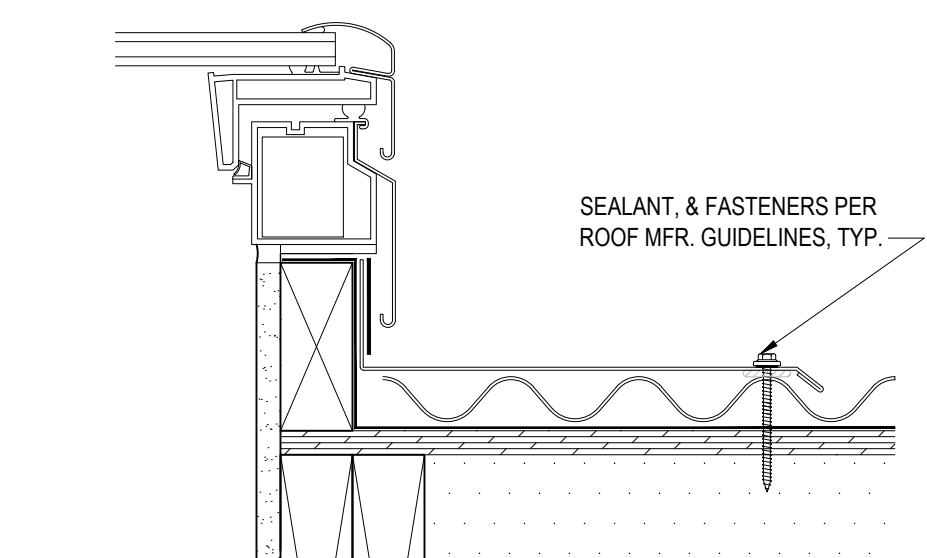
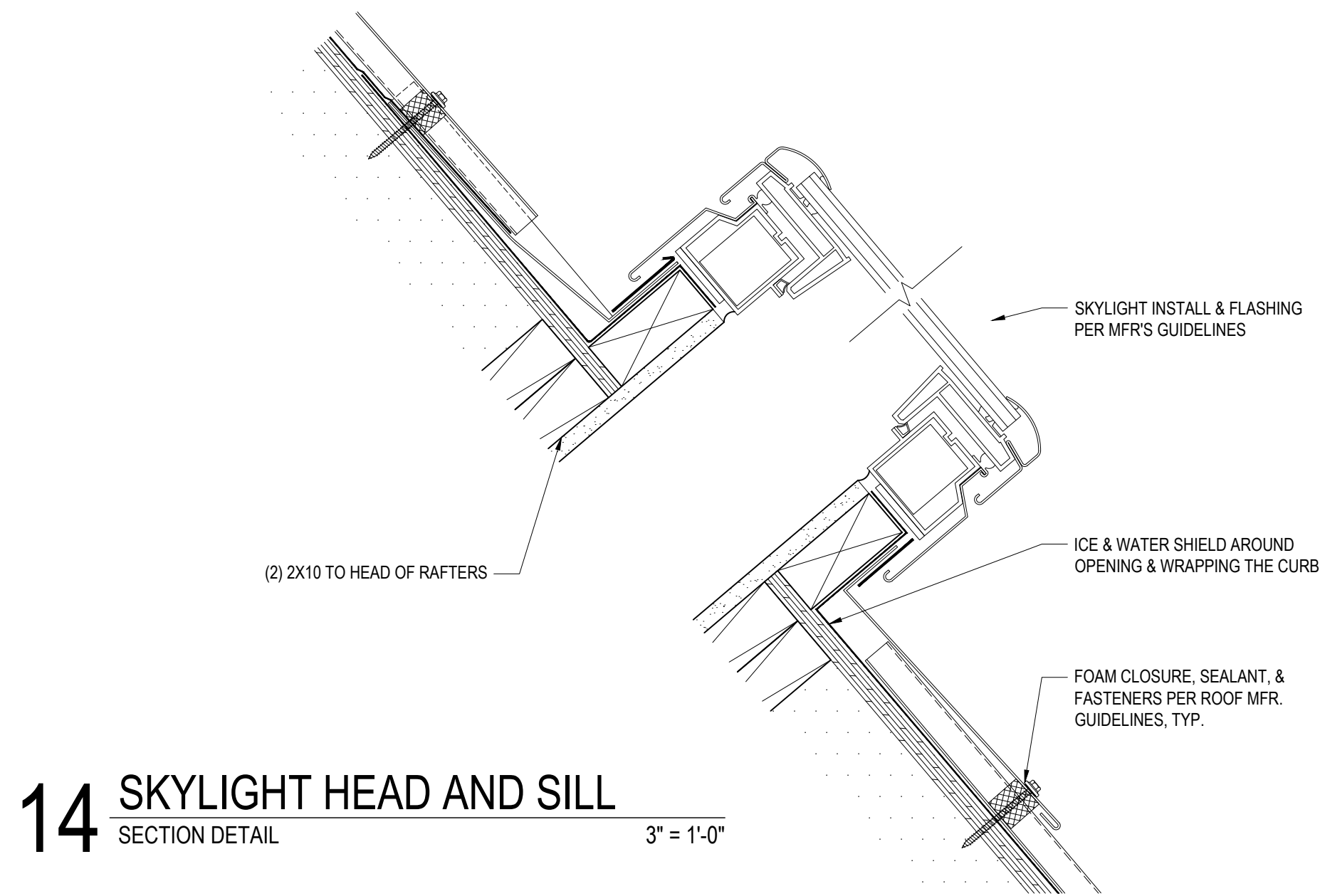


2 TYP. WINDOW TRIM DIAGRAM
ISOMETRIC DIAGRAM NTS

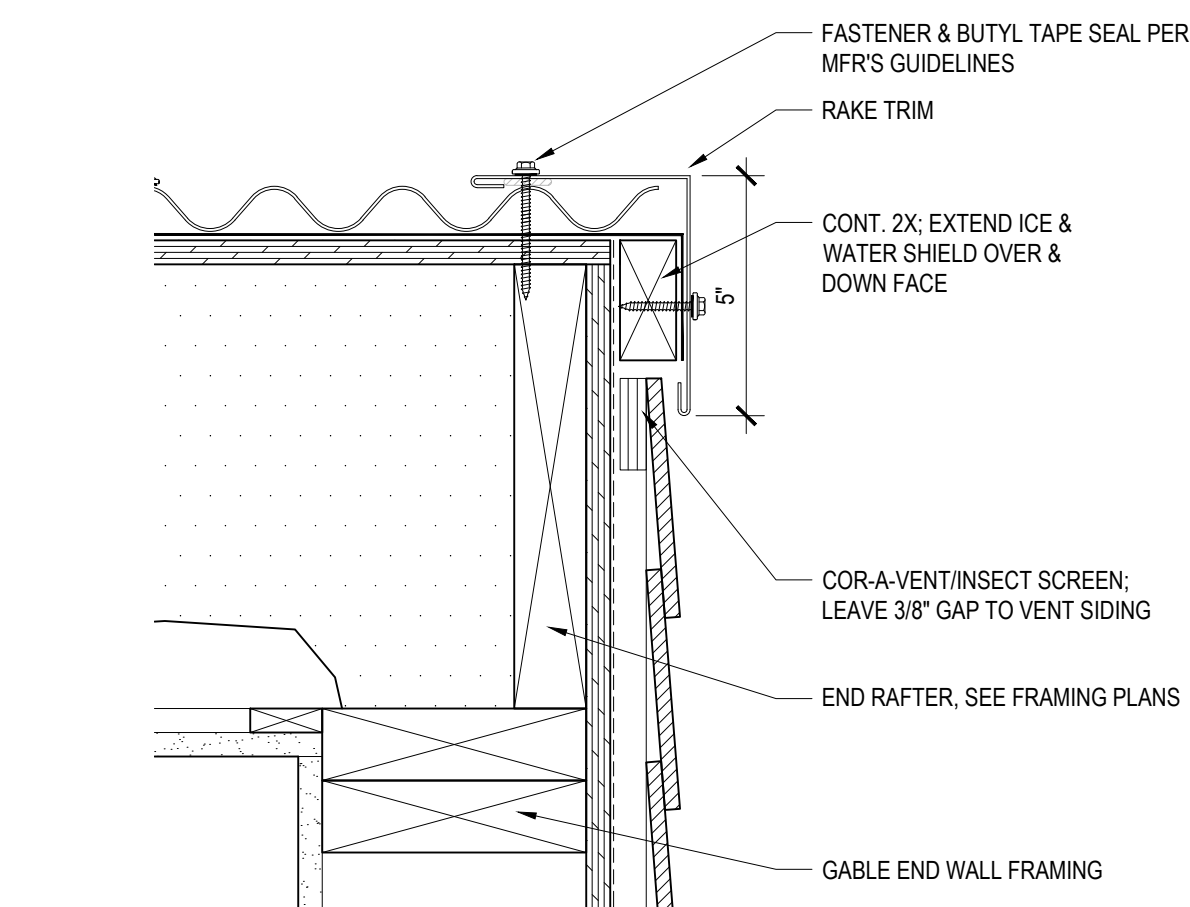


1 WINDOW INSTALLATION DIAGRAM
ISOMETRIC DIAGRAM NTS

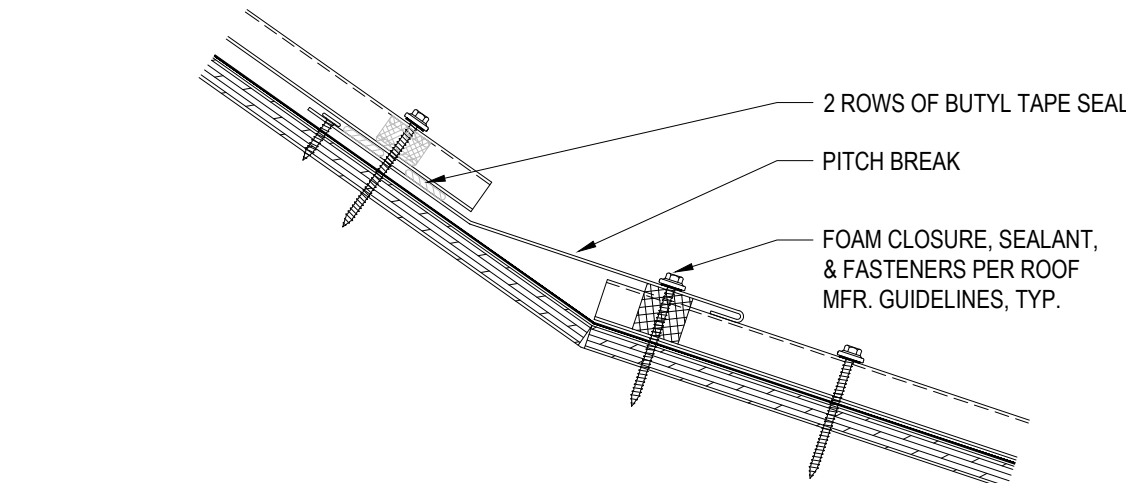




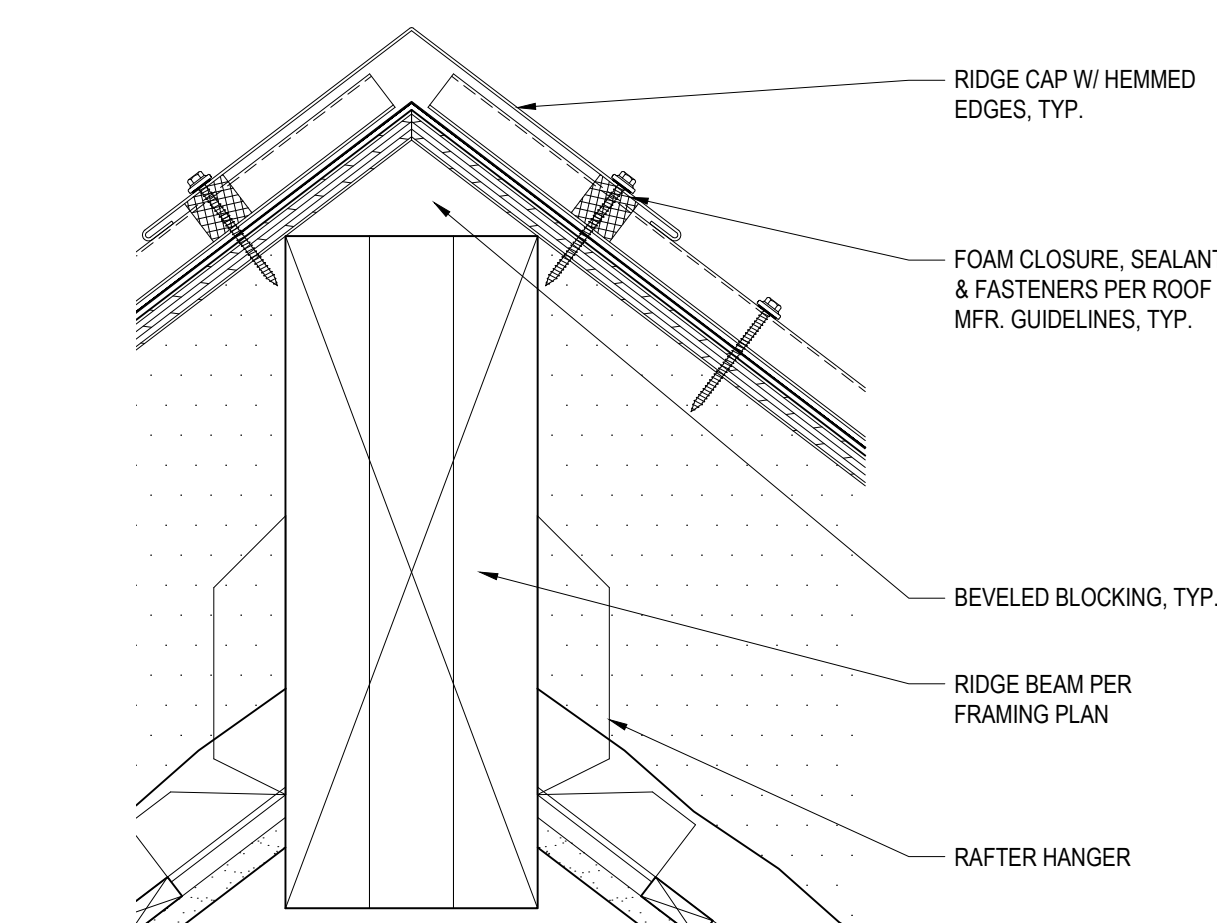
7 ROOF/WALL INTERSECTION
SECTION DETAIL 3" = 1'-0"



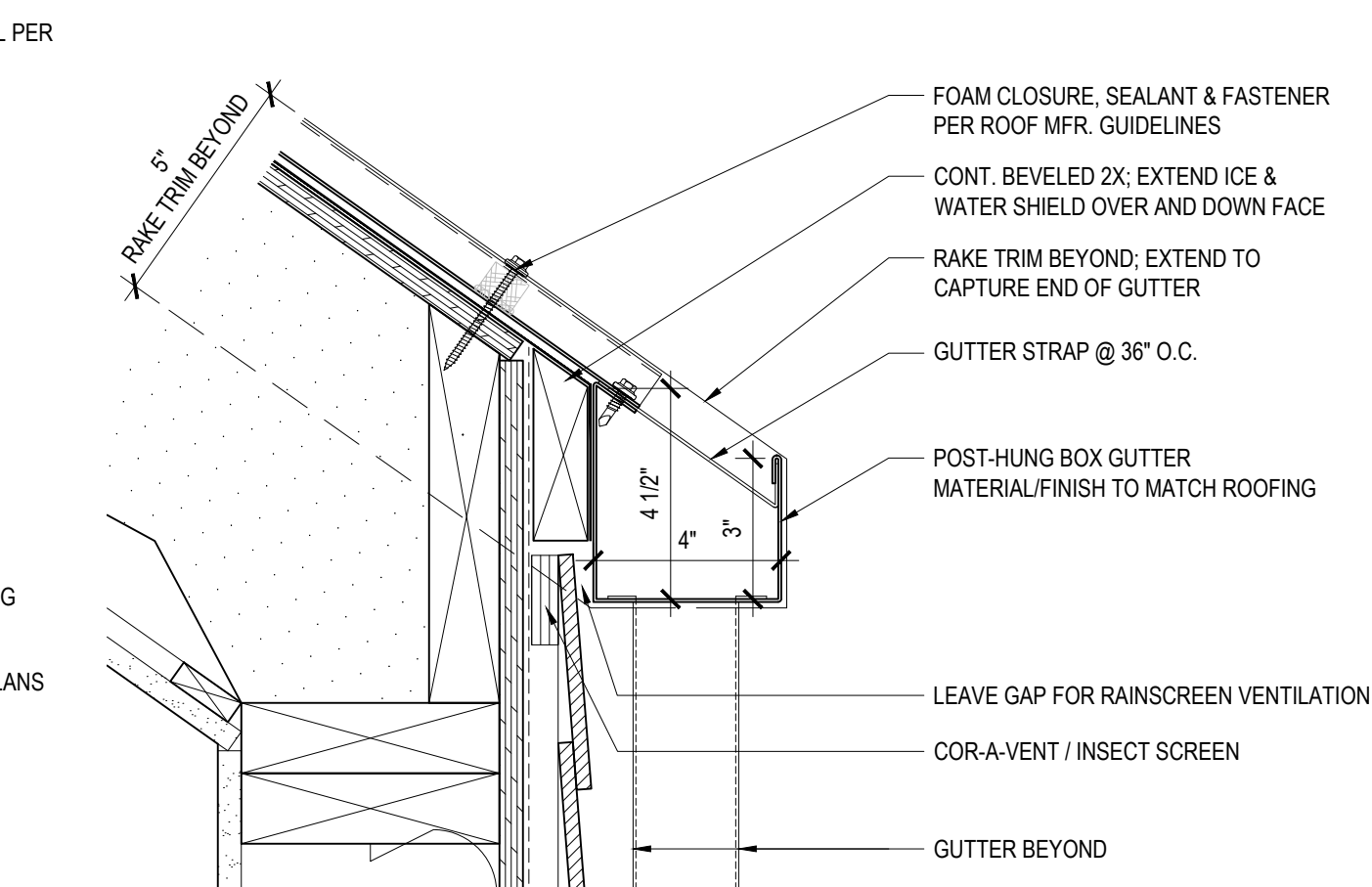
4 RAKE DETAIL
SECTION DETAIL 3" = 1'-0"



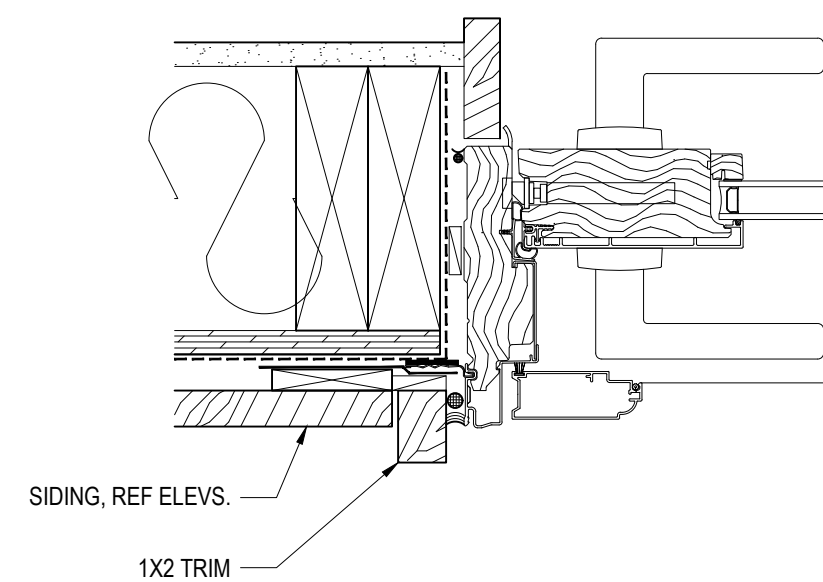
10 DORMER/ROOF INTERSECTION
SECTION DETAIL 3" = 1'-0"



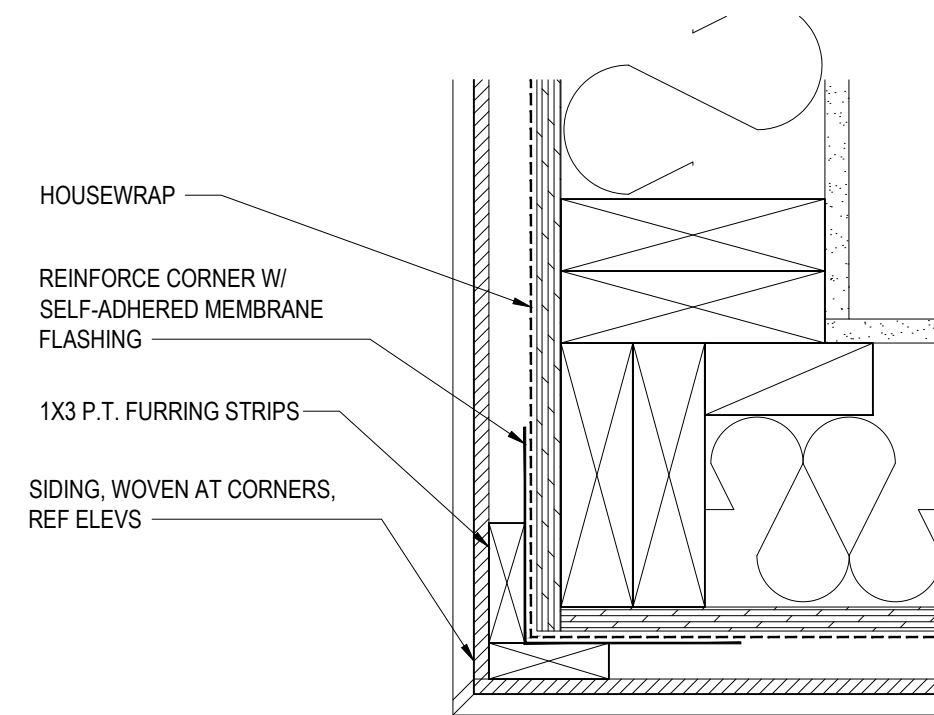
6 RIDGE
SECTION DETAIL 3" = 1'-0"



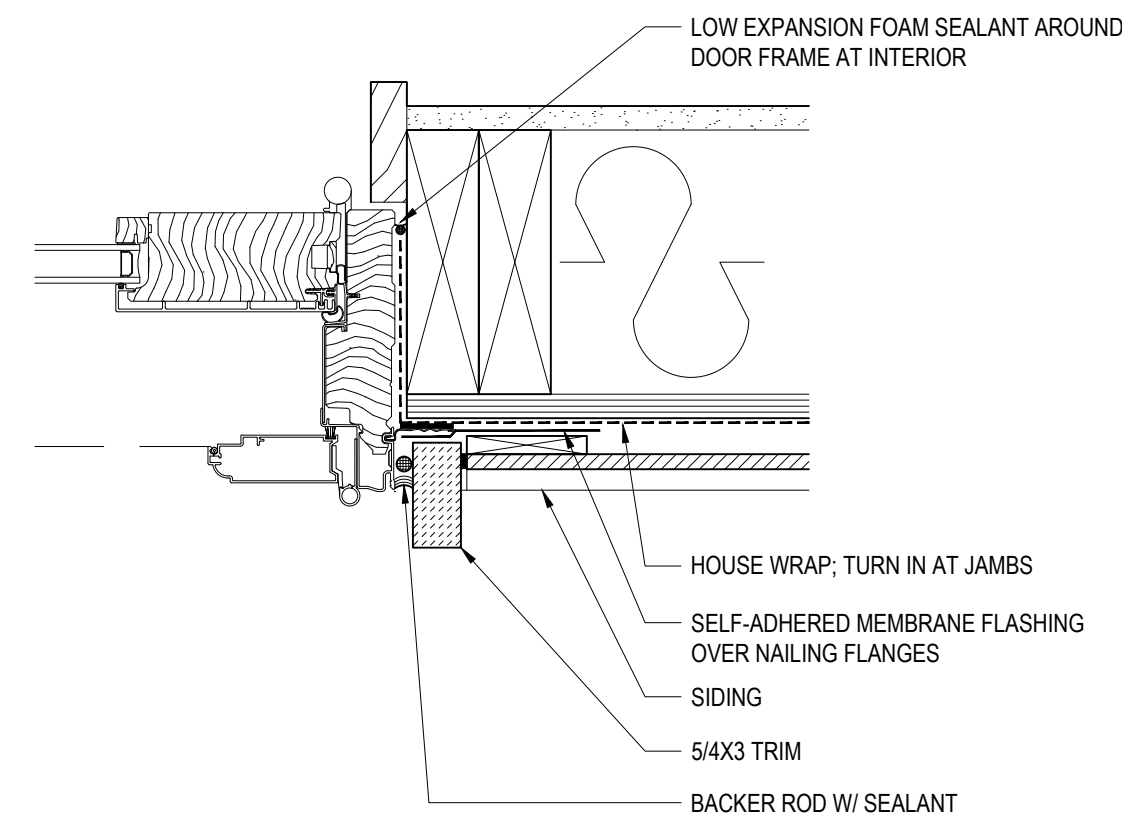
3 EAVE/GUTTER DETAIL
SECTION DETAIL 3" = 1'-0"



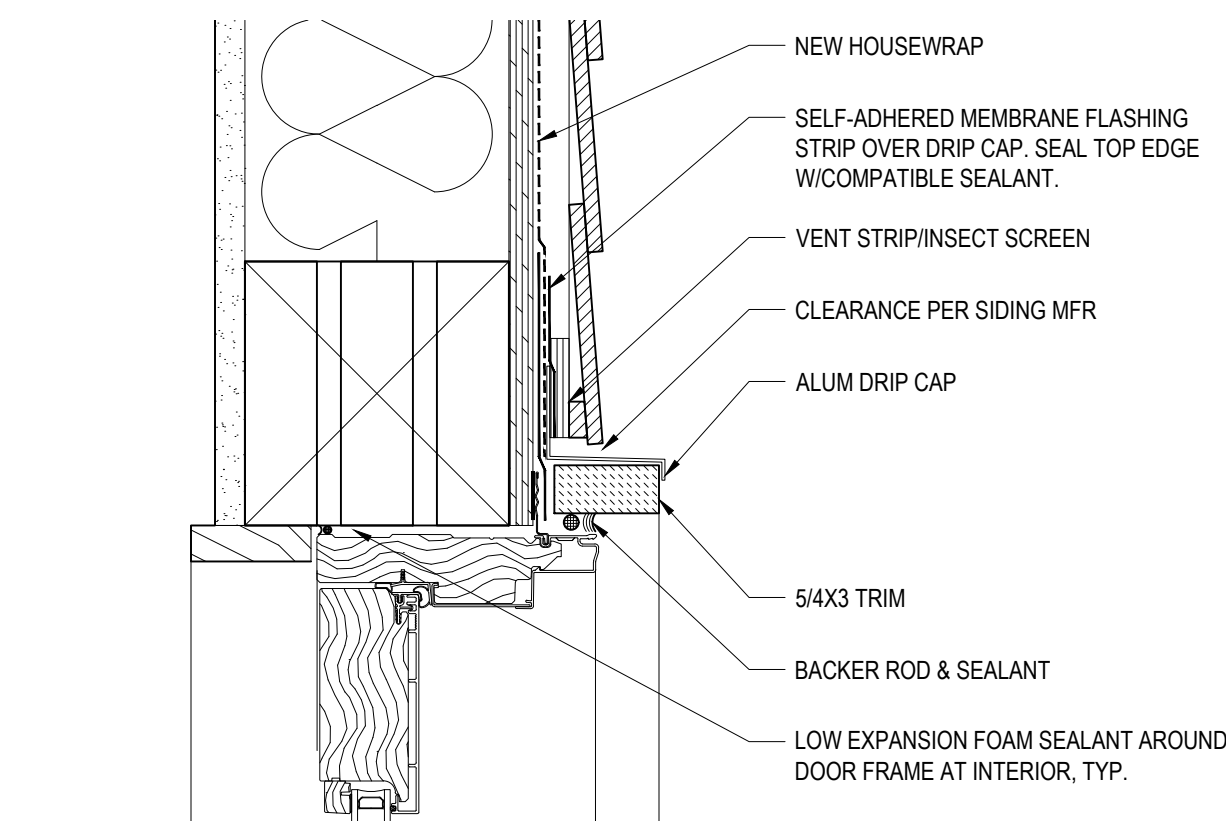
13 DOOR JAMB @ T&G CLADDING
PLAN DETAIL 3" = 1'-0"



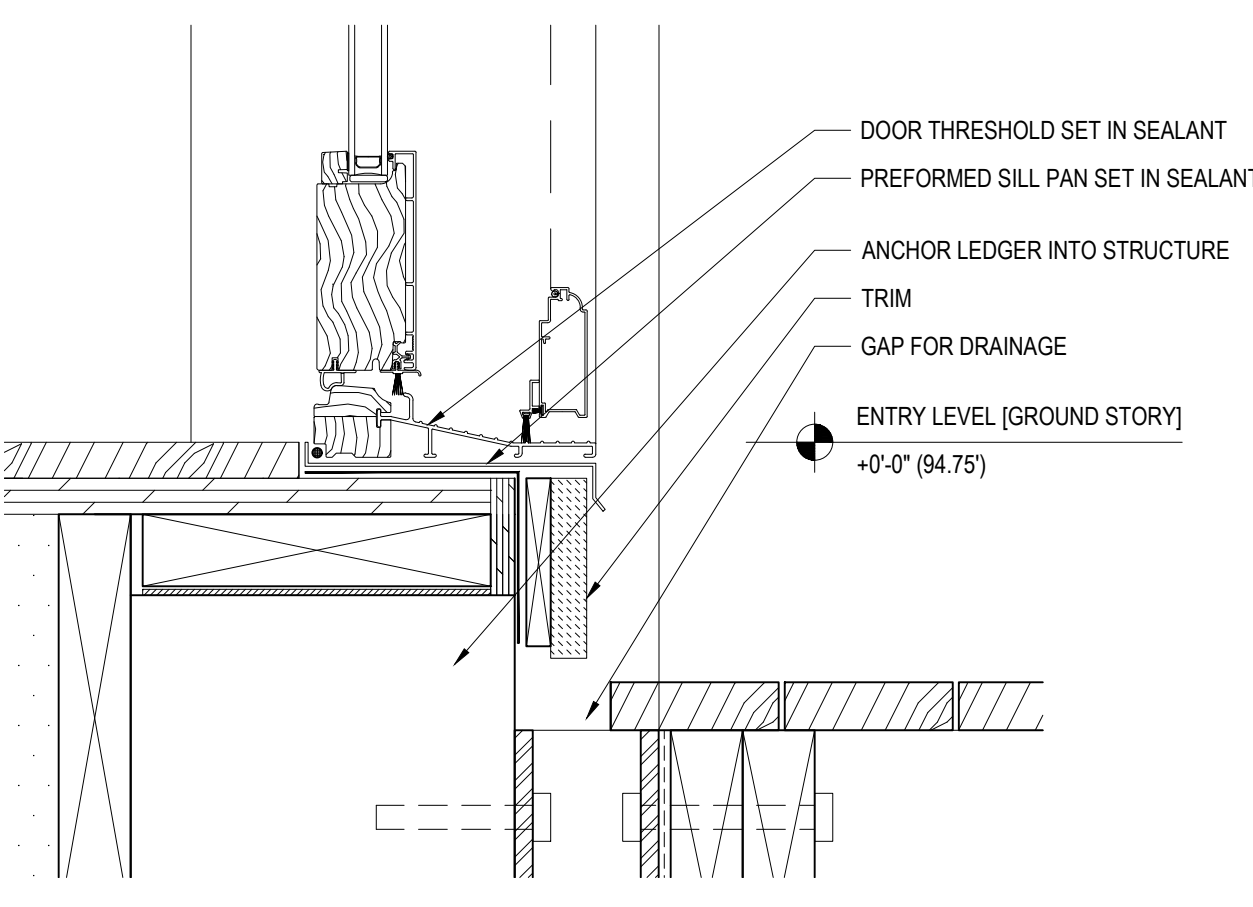
12A SIDING OUTSIDE CORNER
PLAN SECTION DETAIL 3" = 1'-0"



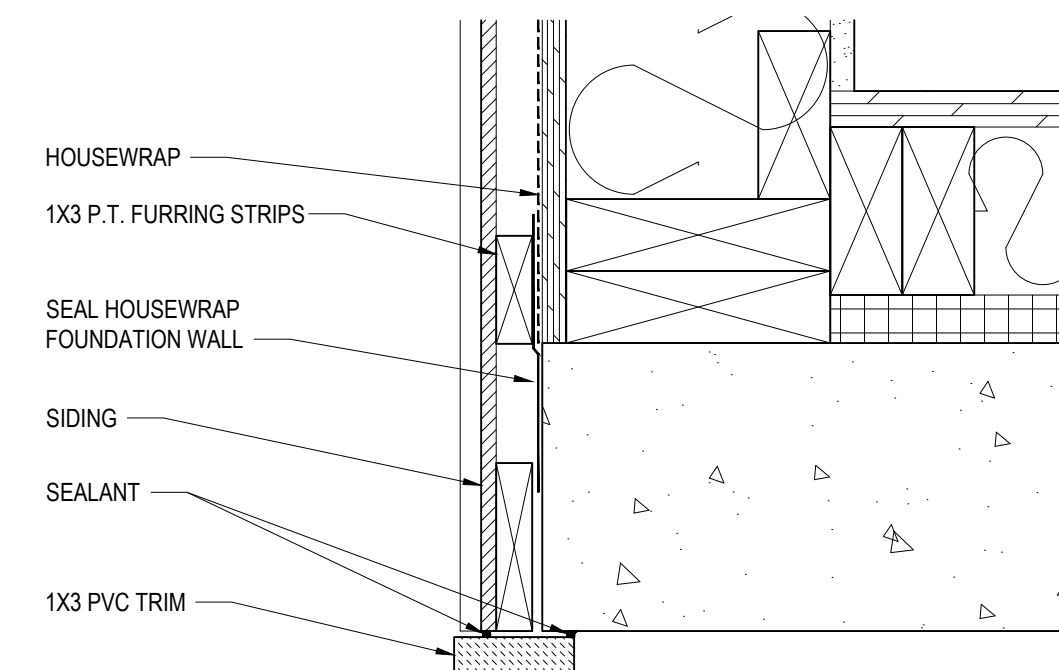
9 TYP. EXT. DOOR JAMB
PLAN DETAIL 3" = 1'-0"



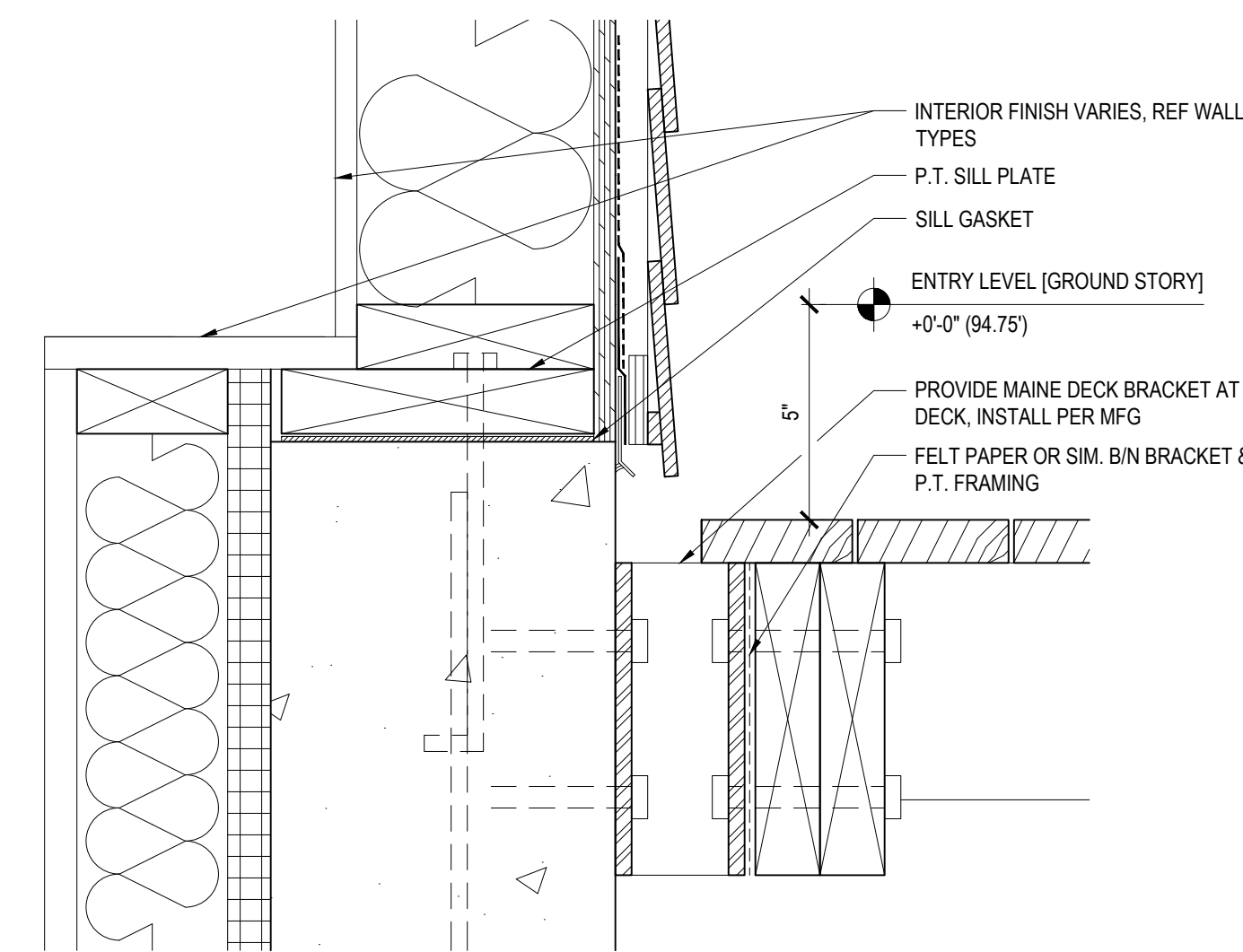
5 TYP. EXT. DOOR HEAD
SECTION DETAIL 3" = 1'-0"



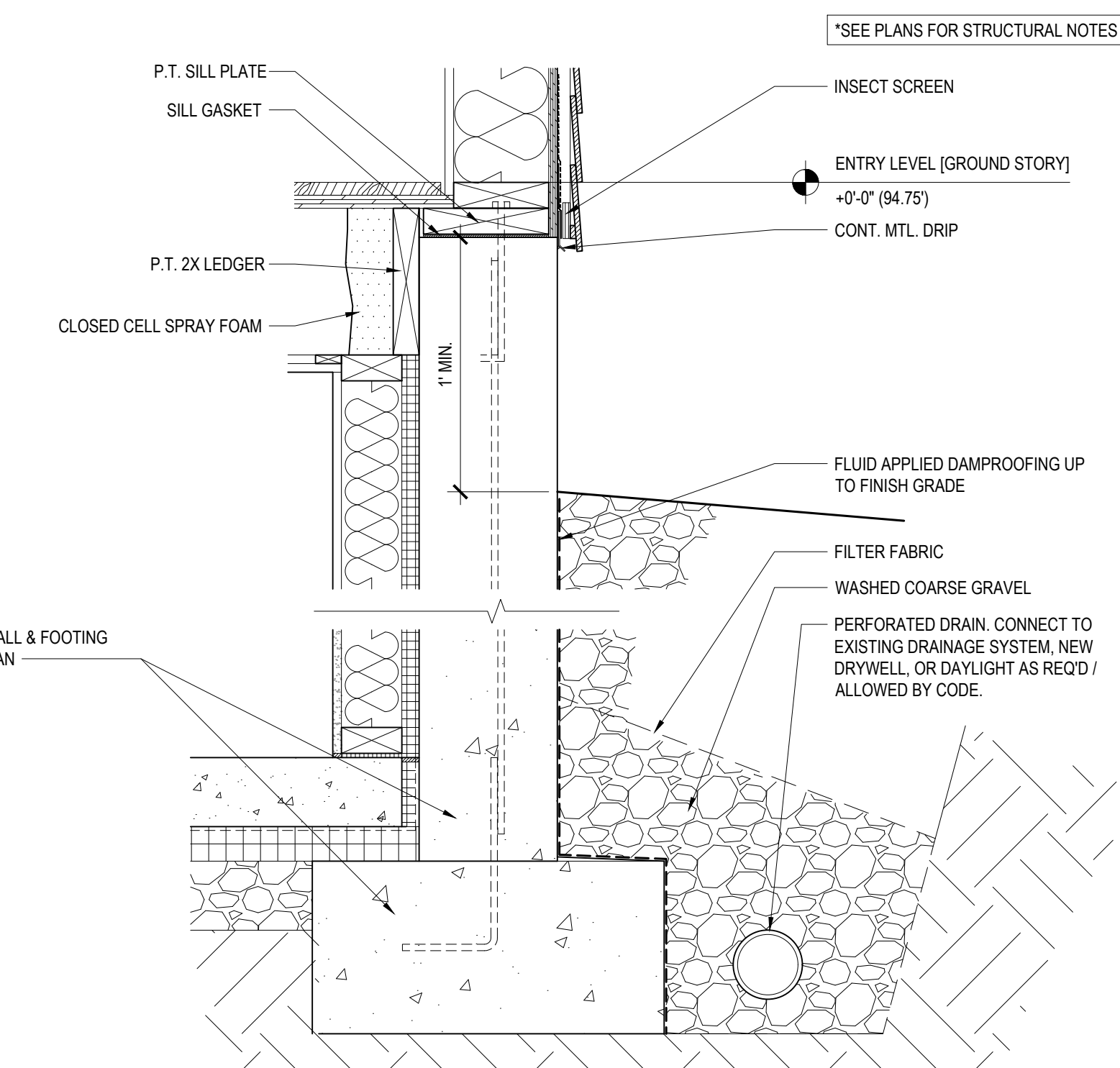
2 TYP. EXT. DOOR THRESHOLD
SECTION DETAIL 3" = 1'-0"



12B SIDING OUTSIDE CORNER
PLAN SECTION DETAIL 3" = 1'-0"



8 TYP. DECK LEDGER DETAIL
SECTION DETAIL 3" = 1'-0"



1 TYP. FOUNDATION & FOOTING DETAIL
SECTION DETAIL 1 1/2" = 1'-0"

ALBION ST. BARN

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PROJECT

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LAURENT

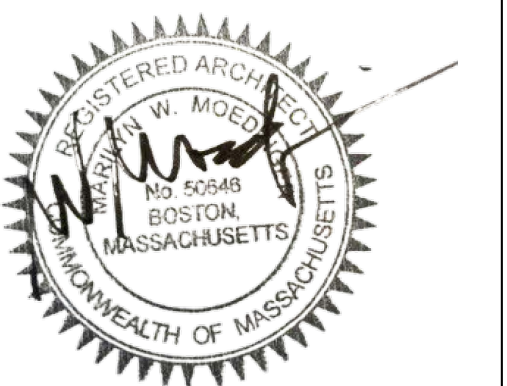
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ARCHITECT



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22 SEP 2021

DRAFT SET
PRICING SET
PERMIT SET
REV. PERMIT SET

SCALE
AS NOTED

EXTERIOR DETAILS

A502